

Table with 3 columns: NO., DATE, DESCRIPTION. Includes REVISIONS section.

BUHNE MULTI-FAMILY

BUHNE ST.
EUREKA, CA 95501
APN: 008-022-028-000
4.5.2024



Table of abbreviations and symbols. Columns include symbols (e.g., A.F.F., ALT, A.B., ARCH.), descriptions (e.g., ABOVE FINISH FLOOR, ALTERNATE, ANCHOR BOLT, ARCHITECTURAL), and other symbols (e.g., H.D.R., HT, HORIZ., HOSE BIB, HR.).

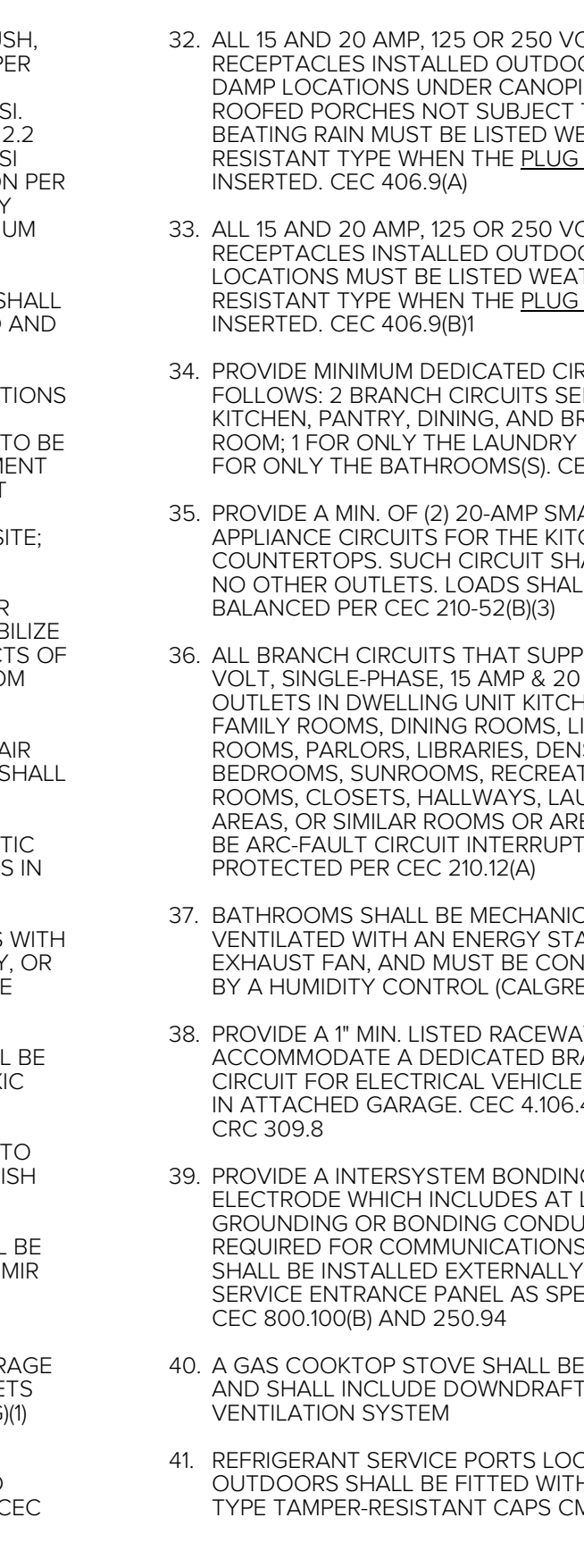
7 TYPICAL ABBREVIATIONS

- 1. ALL DIMENSIONS ARE TO THE FACE OF STUDS UNLESS OTHERWISE NOTED, (U.O.N.)
- 2. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS. DO NOT SCALE THE DRAWINGS
- 3. ALL NEW WINDOWS AND EXTERIOR GLASS DOORS TO HAVE INSULATING GLASS
- 4. GLAZING WITHIN 24" ARC OF EITHER VERTICAL EDGE OF A DOOR IN THE CLOSED POSITION SHALL BE TEMPERED (NOTATED ON PLANS WHERE REQUIRED)
- 5. EMERGENCY EGRESS WINDOW OPENING AT BEDROOMS TO PROVIDE A MINIMUM CLEAR HEIGHT OF 24" AND A MINIMUM CLEAR WIDTH OF 20" WITH A TOTAL CLEAR OPENING AREA OF 5.7 SF MINIMUM, AND A MAXIMUM OF 44" A.F.F. TO BOTTOM OF CLEAR OPENING, WHEN APPLICABLE
- 6. EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL BE CLEAR OF ANY OBSTRUCTION AND OPERATIONAL FROM THE INSIDE OF THE ROOM W/O THE USE OF KEYS, TOOLS, OR SPECIAL KNOWLEDGE R310.1.1 & R310.1.4
- 7. SAFETY GLAZING IS REQUIRED IN ALL FIXED AND OPERABLE PANELS OF SWINGING, SLIDING, AND BI-FOLD DOORS. R308.4.1
- 8. POST ADDRESS NUMBERS IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. ADDRESS NUMBERS SHALL BE A MIN. 4" HIGH W/ A MIN. STROKE WIDTH OF 1/2". NUMBERS MUST CONTRAST BACKGROUND PER R319
- 9. ALL INSULATION SHALL HAVE A FLAME SPREAD INDEX OF NOT MORE THAN 25 AND A SMOKE-DEVELOPED INDEX OF NOT MORE THAN 450
- 10. DUCTS PENETRATING THE WALLS OR CEILINGS SEPARATING THE DWELLING FROM THE GARAGE SHALL BE CONSTRUCTED OF A MIN. NO. 26 GAGE (0.48MM) SHEET STEEL OR OTHER APPROVED MATERIAL. R302.5.2, CBC 406.14
- 11. GARAGE FLOOR USED FOR PARKING OF AUTOMOBILES OR OTHER VEHICLES SHALL BE SLOPED TO FACILITATE THE MOVEMENT OF LIQUIDS TO A DRAIN OR TOWARD THE MAIN VEHICLE ENTRY DOORWAY. CRC R309.1
- 12. ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE A MINIMUM OF 1/2" GYPSUM FIRE RESISTIVE PROTECTION. CRC 302.7
- 13. WATER HEATER IN GARAGES SHALL BE LOCATED OR PROTECTED SO IT IS NOT SUBJECT TO PHYSICAL DAMAGE BY MOVING VEHICLES. CPC 507.13.1
- 14. WATER HEATER TEMP/PRESSURE RELIEF VALVE W/ DRAIN TO THE EXTERIOR OF BUILDING W/ 90° FITTING MIN. 6" AND MAX. 24" ABOVE FINISH GRADE. CPC 504.4, 504.6, 608.5
- 15. PROVIDE NON-REMOVABLE BACKFLOW PREVENTION DEVICES ON EXTERIOR HOSE BIBS. CPC 603.4.6, 603.5.7, 602.3
- 16. GAS UTILIZATION EQUIP. IN GARAGES SHALL BE INSTALLED SO THAT ALL BURNERS AND BURNER IGNITION DEVICES ARE LOCATED NO LESS THAN 18" ABOVE FLOOR, U.O.N. CPC 507.13, CMG 308.1
- 17. EQUIPMENT DESIGNED TO BE FIXED IN POSITION SHALL BE SECURELY FASTENED IN PLACE. CMG 303.5
- 18. EACH BATHROOM (WHICH CONTAINS A BATHTUB, SHOWER, OR TUB/SHOWER) SHALL BE PROVIDED WITH: 1) ENERGY STAR FANS DUCTED TO TERMINATE OUTSIDE THE BUILDING; 2) FANS MUST BE CONTROLLED BY A HUMIDITY CONTROL OR FUNCTIONING AS A COMPONENT OF A WHOLE-HOUSE VENTILATION SYSTEM; 3) HUMIDITY CONTROLS SHALL WITH MANUAL OR AUTOMATIC MEANS OF ADJUSTMENT, CAPABLE OF ADJUSTMENT BETWEEN A RELATIVE HUMIDITY RANGE OF LESS THAN 50% TO A MAX. OF 80%
- 19. SHOWERS AND TUB SHOWER COMBINATIONS SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE, THERMOSTATIC, OR COMBINATION PRESSURE BALANCE AND THERMOSTATIC TYPES THAT PROVIDE SCALD AND THERMAL SHOCK PROTECTION FOR THE RATED FLOW RATE OF THE INSTALLED SHOWERHEAD. THESE VALVES SHALL BE INSTALLED AT THE POINT OF USE AND IN ACCORDANCE WITH ASSE 1016 OR ASME A11 1.18.1/CSA B125.1. MAXIMUM MIXED WATER SETTING OF 120 DEGREES F. CPC 408.3
- 20. SHOWER COMPARTMENTS AND WALLS ABOVE BATHTUBS WITH INSTALLED SHOWER HEADS SHALL BE FINISHED WITH A SMOOTH, NONABSORBENT SURFACE TO A HEIGHT NOT LESS THAN 72" ABOVE THE DRAIN INLET. CRC R307.2
- 21. PLUMBING FIXTURES & FITTINGS REQUIRED IN 84.303.1 SHALL BE INSTALLED IN ACCORDANCE WITH THE 2019 CALIFORNIA PLUMBING CODE, AND SHALL MEET THE APPLICABLE REFERENCED STANDARDS
- 22. *WATER CLOSET- 128 GALLONS PER FLUSH, *SHOWER HEAD-1.8 MAXIMUM GALLON PER MINUTE AT 80 PSI, *KITCHEN FAUCET-1.8 MAXIMUM GALLON PER MINUTE AT 60 PSI. FLOW MAY TEMPORARILY INCREASE TO 2.2 MAXIMUM GALLON PER MINUTE AT 60 PSI BUT MUST DEFAULT BACK TO 1.8 GALLON PER MINUTE MAXIMUM AT 60 PSI. *LAVATORY FAUCET-1.2 GALLON PER MINUTE MAXIMUM AT 60 PSI. CPC 403
- 23. FORCED AIR UNIT AND WATER HEATER SHALL BE CA APPROVED, LISTED AND LABELED AND INSTALLED IN ACCORDANCE WITH THE TERMS OF ITS LISTING AND THE MANUFACTURE INSTALLATION INSTRUCTIONS
- 24. BEST MANAGEMENT PRACTICES (BMPs) TO BE IMPLEMENTED. *RETAIN SOIL AND SEDIMENT ON THE CONSTRUCTION SITE. *PREVENT NON-STORM WATER DISCHARGES THAT WOULD DISCHARGE POLLUTANTS OFF SITE; *PREVENT THE DISCHARGE OF OTHER POLLUTANTS ASSOCIATED WITH CONSTRUCTION ACTIVITIES TO LAND OR SURFACE WATERS; *PERMANENTLY STABILIZE DISTURBED SOILS; *MINIMIZE THE EFFECTS OF INCREASED STORM WATER RUNOFF FROM IMPERVIOUS SURFACES
- 25. DUCT OPENINGS AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED DURING CONSTRUCTION
- 26. ANNULAR SPACES AROUND PIPES, ELECTIC CABES, CONDUITS, OR OTHER OPENINGS IN PLATES AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF RODENTS BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY, OR A SIMILAR METHOD ACCEPTABLE TO THE ENFORCING AGENCY
- 27. ADHESIVES, SEALANTS, & CAULKS SHALL BE COMPLIANT WITH VOC AND OTHER TOXIC COMPOUND LIMITS
- 28. DOCUMENTATION SHALL BE PROVIDED TO VERIFY THAT COMPLIANT VOC LIMIT FINISH MATERIALS HAVE BEEN USED
- 29. AEROSOL PAINTS AND COATINGS SHALL BE COMPLIANT WITH PRODUCT WEIGHTED MIR LIMITS FOR VOC AND OTHER TOXIC COMPOUNDS
- 30. THE BRANCH CIRCUIT SERVING THE GARAGE RECEPTACLES SHALL NOT SERVE OUTLETS OUTSIDE OF THE GARAGE. CEC 210.52(G)(1)
- 31. 125-VOLT & 250-VOLT, 15 AMP & 20 AMP RECEPTACLE OUTLETS SHALL BE LISTED TAMPER-RESISTANT RECEPTACLES PER CEC 406.12
- 32. ALL 15 AND 20 AMP, 125 OR 250 VOLT RECEPTACLES INSTALLED OUTDOORS IN DAMP LOCATIONS UNDER CANOPIES AND ROOFED PORCHES NOT SUBJECT TO BEATING RAIN MUST BE LISTED WEATHER-RESISTANT TYPE WHEN THE PLUG IS NOT INSERTED. CEC 406.9(A)
- 33. ALL 15 AND 20 AMP, 125 OR 250 VOLT RECEPTACLES INSTALLED OUTDOORS IN WET LOCATIONS MUST BE LISTED WEATHER-RESISTANT TYPE WHEN THE PLUG IS INSERTED. CEC 406.9(B)
- 34. PROVIDE MINIMUM DEDICATED CIRCUITS AS FOLLOWS: 2 BRANCH CIRCUITS SERVING THE KITCHEN, PANTRY, DINING, AND BREAKFAST ROOM; 1 FOR ONLY THE LAUNDRY ROOM, 1 FOR ONLY THE BATHROOM(S). CEC 210.11(C)
- 35. PROVIDE A MIN. OF (2) 20-AMP SMALL APPLIANCE CIRCUITS FOR THE KITCHEN COUNTERTOPS. SUCH CIRCUIT SHALL HAVE NO OTHER OUTLETS. LOADS SHALL BE BALANCED PER CEC 210-52(B)(3)
- 36. ALL BRANCH CIRCUITS THAT SUPPLY 120-VOLT, SINGLE-PHASE, 15 AMP & 20 AMP OUTLETS IN DWELLING UNIT KITCHENS, FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DENs, BEDROOMS, SUNROOMS, RECREATIONS ROOMS, CLOSETS, HALLWAYS, LAUNDRY AREAS, OR SIMILAR ROOMS OR AREAS SHALL BE ARC-FAULT CIRCUIT INTERRUPTER (AFCI) PROTECTED PER CEC 210.12(A)
- 37. BATHROOMS SHALL BE MECHANICALLY VENTILATED WITH AN ENERGY START EXHAUST FAN, AND MUST BE CONTROLLED BY A HUMIDITY CONTROL. (CALGREEN 4.506.1)
- 38. PROVIDE A 1" MIN. LISTED RACEWAY TO ACCOMMODATE A DEDICATED BRANCH CIRCUIT FOR ELECTRICAL VEHICLE CHARGING IN ATTACHED GARAGE. CEC 4.106.4, CEC 25, CRC 309.8
- 39. PROVIDE AN INTERSYSTEM BONDING ELECTRODE WHICH INCLUDES AT LEAST TREE GROUNDING OR BONDING CONDUCTORS REQUIRED FOR COMMUNICATIONS SYSTEMS - SHALL BE INSTALLED EXTERNALLY AT THE SERVICE ENTRANCE PANEL AS SPECIFIED IN CEC 800.100(B) AND 250.94
- 40. A GAS COOKTOP STOVE SHALL BE 17k BTU AND SHALL INCLUDE DOWNDRAFT VENTILATION SYSTEM
- 41. REFRIGERANT SERVICE PORTS LOCATED OUTDOORS SHALL BE FITTED WITH LOCKING-TYPE TAMPER-RESISTANT CAPS CMC 1105.11
- 42. WOOD SIDING, SHEATHING, AND WALL FRAMING ON THE EXTERIOR OF A BUILDING TO HAVE A CLEARANCE OF NOT LESS THAN 6" FROM THE GROUND AND NOT LESS THAN 2" FROM CONCRETE STEPS, SLABS, OR SIMILAR HORIZONTAL SURFACES EXPOSED TO WEATHER. R317
- 43. PAINTS, STAINS AND OTHER COATINGS SHALL BE COMPLIANT WITH VOC
- 44. CARPET AND CARPET SYSTEMS SHALL BE COMPLIANT WITH VOC LIMITS
- 45. 80% OF FLOOR AREA RECEIVING RESILIENT FLOORING SHALL COMPLY WITH SPECIFIED VOC CRITERIA
- 46. PARTICLEBOARD, MEDIUM DENSITY FIBERBOARD (MDF) AND HARDWOOD PLYWOOD USED IN INTERIOR FINISH SYSTEMS SHALL COMPLY WITH LOW FORMALDEHYDE EMISSION STANDARDS
- 47. MOISTURE CONTENT OF BUILDING MATERIALS USED IN WALL AND FLOOR FRAMING TO BE CHECKED BEFORE ENCLOSURE
- 48. DUCT SYSTEMS SHALL BE SIZED, DESIGNED, AND EQUIP. SELECTED USING THE FOLLOWING METHODS: 1) ESTABLISH HEAT LOSS & HEAT GAIN VALUES ACCORDING TO ANSIA/CCA 2 MANUAL J-2016 (RES. LOAD CAL-C) OR EQ.; 2) SIZE DUCT SYSTEMS ACCORDING TO ANSIA/CCA 1 MANUAL D-2016 (RES. DUCT SYSTEMS) OR EQ.; 3) SELECT HEATING & COOLING EQUIP. ACCORDING TO ANSIA/CCA 3 MANUAL S-2014 (RES. EQUIP. SELECTION) OR EQ.
- 49. ALL WASHERS & DRYERS SHALL COMPLY WITH THE PROVISIONS OF CBC 1135A (TO BE PROVIDED BY TENANTS IN FUTURE).
- 50. ALL BATHTUB/SHOWER NONABSORBENT WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR, PER CBC 1210.2.3.

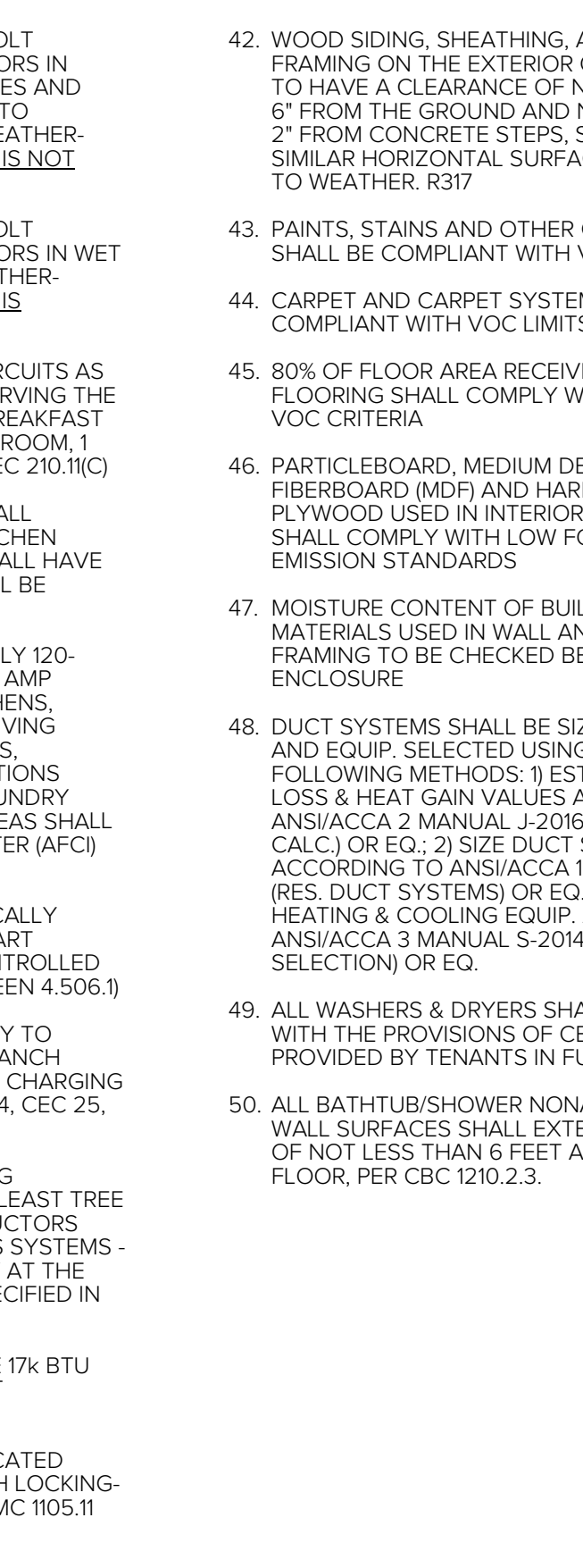
10 COVER PERSPECTIVE

- 1. DURING CONSTRUCTION PROVIDE PORTABLE FIRE EXTINGUISHERS, MINIMUM 2A10BC RATED, ON ALL LEVELS AND IN STORAGE AND CONSTRUCTION SHEDS SO THAT NO SPOT IN THE BUILDING IS MORE THAN 75 FEET TRAVEL DISTANCE TO A FIRE EXTINGUISHER ON THE SAME LEVEL. TITLE 19, CHAPTER 3, ARTICLE 5, CFC 1415
- 2. FIRE DEPARTMENT ACCESS ROADS SHALL BE MAINTAINED DURING CONSTRUCTION. CFC 1410
- 3. FIRE RESISTIVE CONSTRUCTION INCLUDING WALLS, PARTITIONS, FLOORS, PENETRATIONS, CEILINGS, COATINGS, AND SPRAYED-ON FIRE-RESISTIVE MATERIAL SHALL BE PROPERLY REPAIRED, RESTORED, OR REPLACED WHEN DAMAGED, ALTERED, BREACHED, OR PENETRATED. CFC 703
- 4. AUTOMATIC SPRINKLER SYSTEM SHALL BE MONITORED BY AN APPROVED SUPERVISING STATION IN ACCORDANCE WITH NFPA 72, 2022 CBC 907.6.6
- 5. LOCKABLE KEY BOX (KNOX) AND LOCKABLE FIRE DEPARTMENT PLUG(S) (KNOX) ARE REQUIRED.

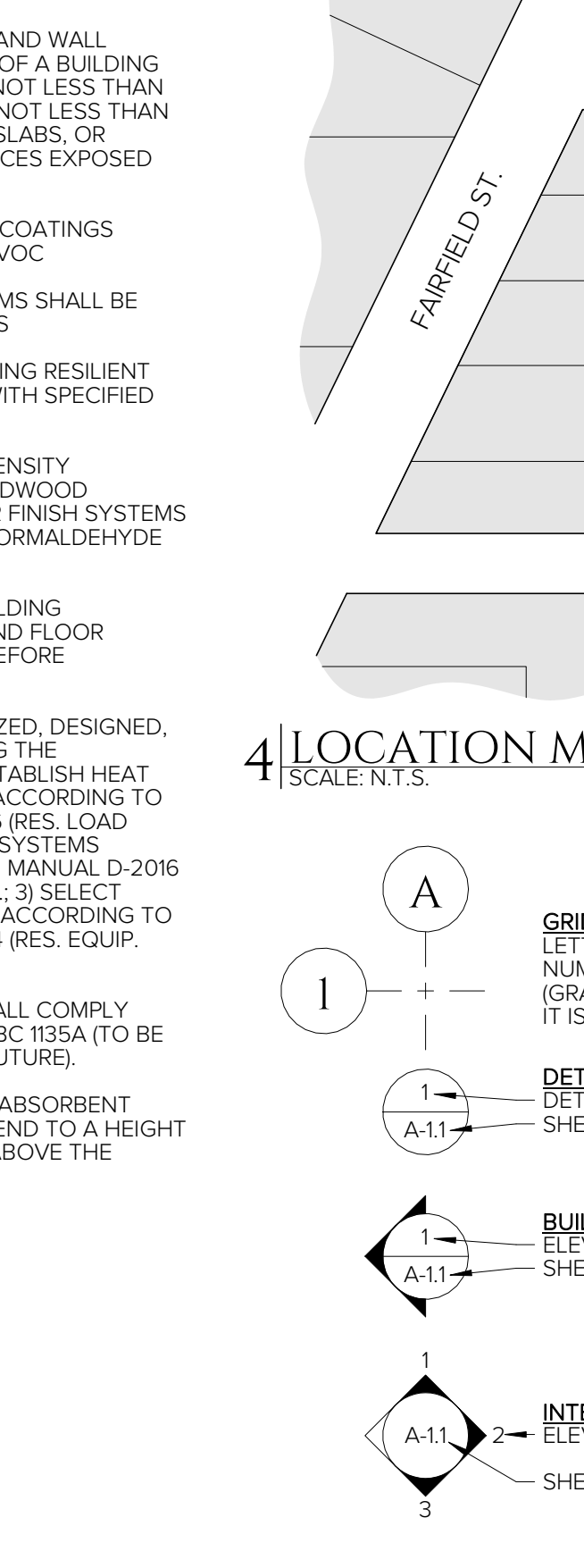
9 FIRE DEPT. NOTES



4 LOCATION MAP



5 TYPICAL SYMBOLS



3 SHEET INDEX

Table with 2 columns: NO., NAME. Lists sheets A-0.1 through A-7.2, including cover sheet, site & landscape plans, floor plans, roof plans, notes & schedules, exterior elevations, building sections, enlarged floor plans, stair plans & sections, stair notes & details, lighting plans, electrical plans, attic elec. & lighting plan & notes, mechanical plans, plumbing plans, waste plans, gas plans, structural notes & details, foundation & floor framing plans, roof framing plans, shearwall plans, title 24 building energy report, and title 24 building energy report.

2 PROJECT DIRECTORY

Table with 2 columns: GROSS AREA SUMMARY and RENTABLE AREA SUMMARY. Lists areas for first and second floors for units 1-5, garage, and stairs.

PROJECT DESCRIPTION

CONSTRUCTION OF NEW 7,072 S.F. TWO-STORY MULTI-FAMILY BUILDING WITH 16 UNITS WITH 1-CAR GARAGE PER UNIT (TOTAL 15 GARAGES).

- UNIT-1: 3 BED, 1.5 BATH;
- UNIT-2: 2 BED, 1.5 BATH;
- UNIT-3: 2 BED, 1 BATH;
- UNIT-4: 1 BED, 1 BATH;
- UNIT-5: 2 BED, 1.5 BATH.

BUILDING TO BE FULLY SPRINKLERED & EQUIPPED W/ NFPA 13 SPRINKLER SYSTEM.

PROJECT TO BE SERVED BY MUNICIPAL WATER & SEWER.

PROPOSED CONSTRUCTION TO CONFORM TO THE FOLLOWING GOVERNING CODES AND REGULATIONS, ALONG WITH ANY OTHER LOCAL & STATE LAWS AND REGULATIONS:

- 2022 CALIFORNIA BUILDING CODE
- 2022 CALIFORNIA ENERGY CODE
- 2022 CALIFORNIA ELECTRICAL CODE
- 2022 CALIFORNIA FIRE CODE
- 2022 CALIFORNIA MECHANICAL CODE
- 2022 CALIFORNIA PLUMBING CODE
- 2022 CALIFORNIA GREEN BUILDING CODE

ALL ENGINEERING HAS BEEN INCORPORATED INTO THE PLANS.

PROJECT INFORMATION:

- OCCUPANCY: R-2
- CONSTRUCTION TYPE: V-A FULLY SPRINKLERED
- STORIES: 2 (4 MAX.)
- HEIGHT: 29'-3" (60'-0" MAX.)
- ALLOWABLE FLOOR AREA: 36,000 S.F. MAX. PER TABLE 506.2

GROSS AREA SUMMARY

| | |
|----------------------|----------|
| FIRST FLOOR | 3,494 SF |
| SECOND FLOOR | 3,578 SF |
| TOTAL BUILDING AREA: | 7,072 SF |

RENTABLE AREA SUMMARY

| | |
|--------------|----------|
| UNIT-1 | 351 SF |
| GARAGE | 560 SF |
| FIRST FLOOR | 922 SF |
| SECOND FLOOR | 1,833 SF |
| UNIT-2 | 351 SF |
| GARAGE | 524 SF |
| FIRST FLOOR | 519 SF |
| SECOND FLOOR | 1,394 SF |
| UNIT-3 | 362 SF |
| GARAGE | 771 SF |
| SECOND FLOOR | 1,134 SF |
| UNIT-4 | 362 SF |
| GARAGE | 693 SF |
| SECOND FLOOR | 1,055 SF |
| UNIT-5 | 351 SF |
| GARAGE | 524 SF |
| FIRST FLOOR | 564 SF |
| SECOND FLOOR | 1,438 SF |
| STAIR | |
| FIRST FLOOR | 85 SF |
| SECOND FLOOR | 109 SF |
| MAINT. | |
| FIRST FLOOR | 47 SF |
| SECOND FLOOR | 47 SF |

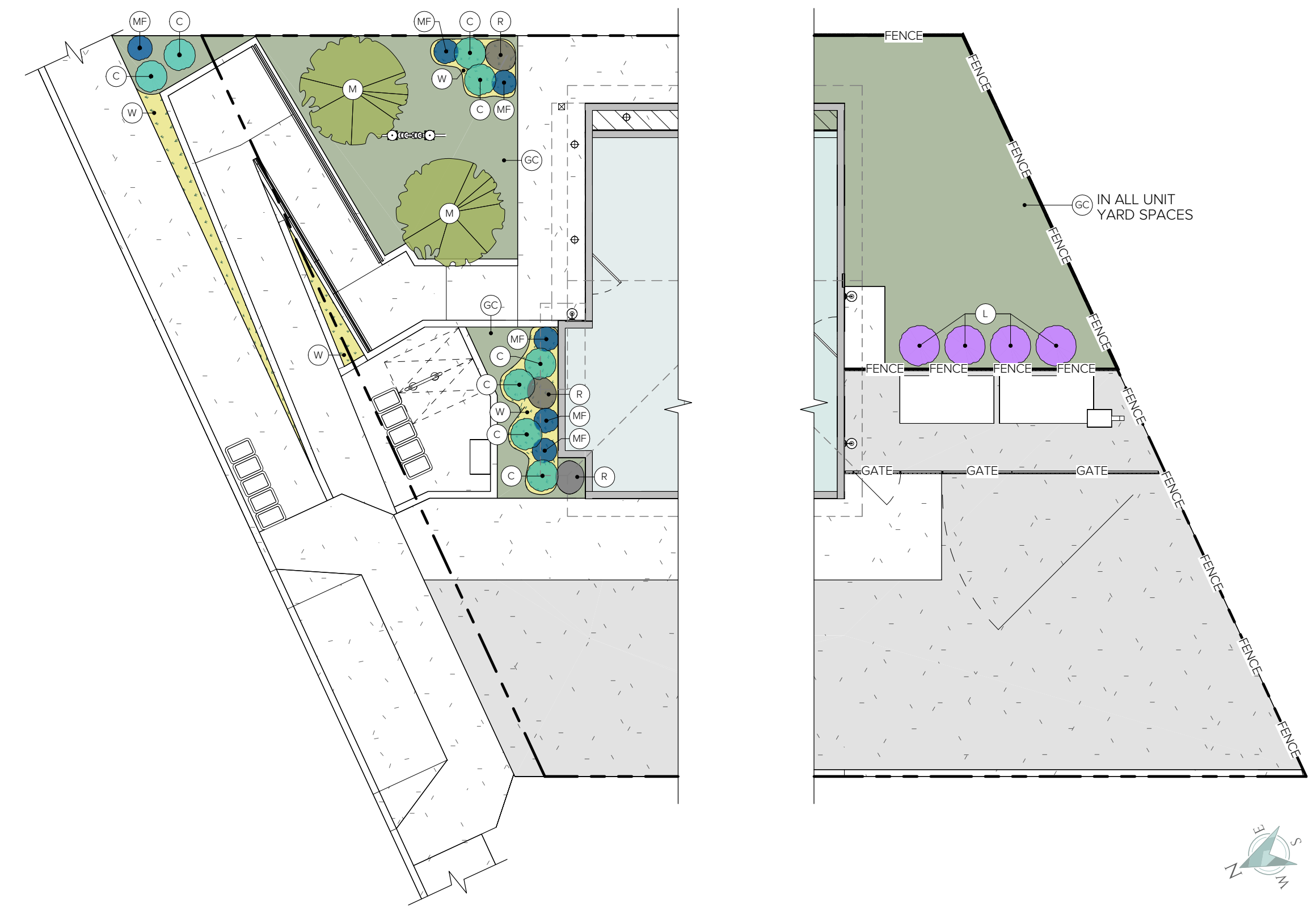
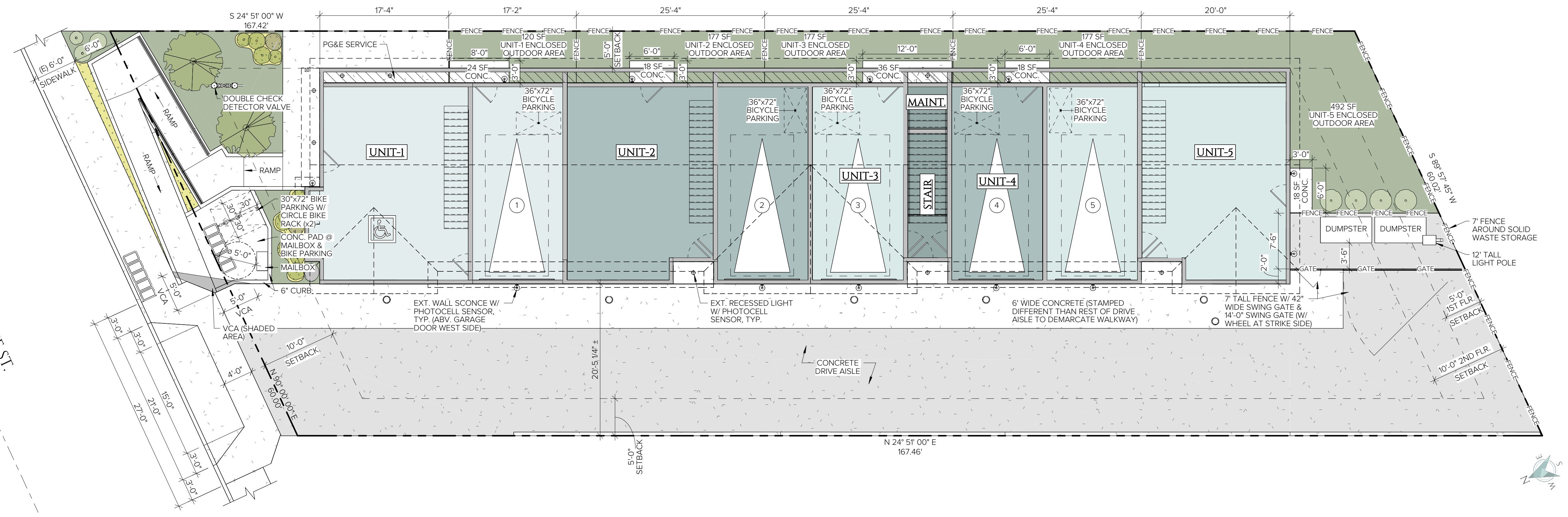
8 PROJECT NOTES

REVISIONS

| # | DATE | DESCRIPTION |
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SHEET DATE: 4.5.2024
DRAWN BY: CAT ORY

SHEET NO.
A-1.1
BUHNE MULTI-FAMILY



| PLANTING SCHEDULE | | | | |
|-------------------|------------------|------------------------------|---------------------------------|--|
| MARK | SIZE | BOTANICAL | COMMON | NOTES |
| | C 12' WIDE | BACCHARIS PILULARIS | COYOTE BRUSH SCRUB | PRUNE ANNUALLY IF DESIRED WATER: MAX. 1x/WK ONCE ESTABLISHED |
| | GC SEED MIX | TRIFOLIUM GRACILENTUM | PINPOINT GROUND COVER | |
| | L 2'-20' TALL | CEANOTHUS | CALIFORNIA LILAC | REGULAR DEEP WATERING, DROUGHT-TOLERANT ONCE ESTABLISHED |
| | M 15-GAL | ACER MACROPHYLLUM | BIG LEAF MAPLE | KEEP MOIST |
| | MF 5' WIDE | DIPLACUS AURANTIACUS | BUSH MONKEYFLOWER SCRUB | DEADHEAD TO INCREASE FLOWERS. PINCH BACK NEW GROWTH IN SPRING TO MAINTAIN MORE COMPACT FORM WATER: MAX. 1x/MONTH ONCE ESTABLISHED |
| | R 5' WIDE | DUDLEYA CYMOSA | ROCK W/ CANYON DUDLEYA & LICHEN | NEVER IRRIGATE ONCE ESTABLISHED |
| | W SEED MIX | NATIVE CALIOFRNIA WILDFLOWER | POLLINATOR FRIENDLY SEED MIX | ANNUAL WILDFLOWERS (29%) Douglas Meadowfoam (Limnanthes douglasii), Globe Gilia (Gilia capitata), Farewell to Spring (Clarkia amoena), Sea Blush (Plectritis congesta), Bicolor Lupine (Lupinus bicolor), White Meadowfoam (Limnanthes alba) (PERENNIAL WILDFLOWERS (47%)) Self Heal (Prunella vulgaris), Western Yarrow (Achillea millefolium), Large Camas (Camassia leichtlinii), Riverbank Lupine (Lupinus rivularis), Bigleaf Lupine (Lupinus polyphyllus), Meadow Checkermallow (Sidalcea campestris), Woolly Sunflower (Eriophyllum lanatum), Western Buttercup (Ranunculus occidentalis), Showy Fiebane (Erigeron speciosus), Common Camas (Camassia quamash), Prairie Cinquefoil (Potentilla gracilis) GRASSES (24%) Roemer's Fescue (Festuca roemerii), Tufted Hairgrass (Deschampsia cespitosa), Meadow Barley (Horeadum brachyantherum) |

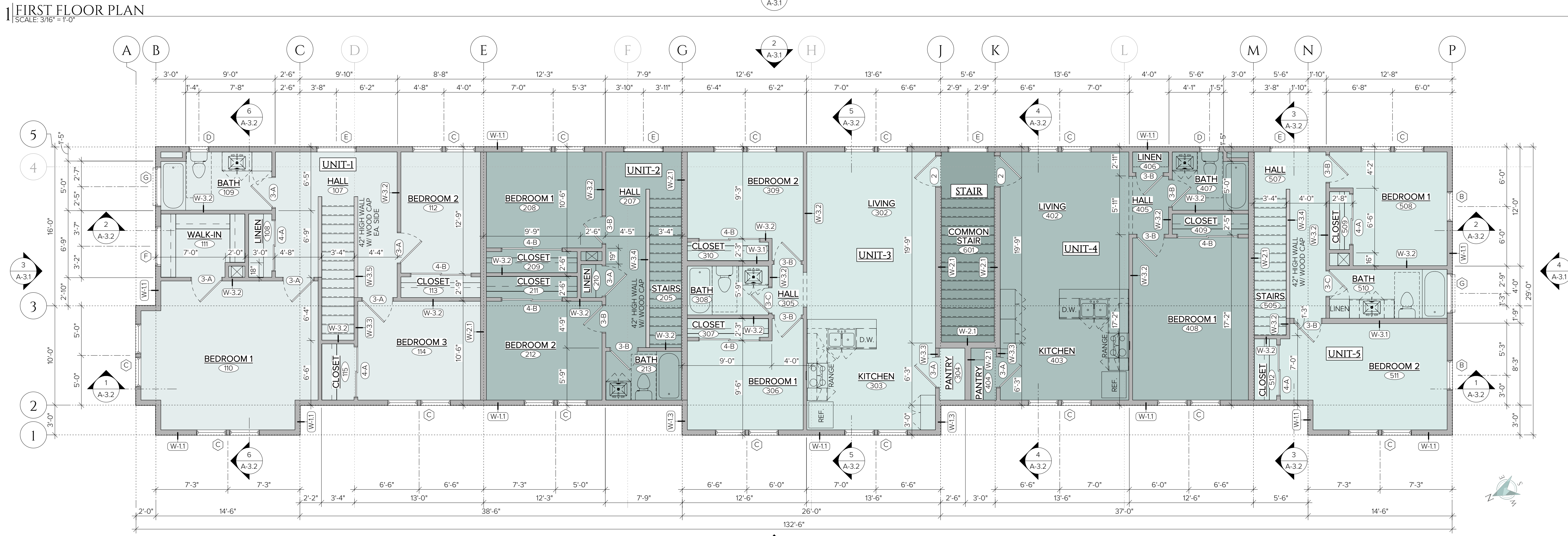
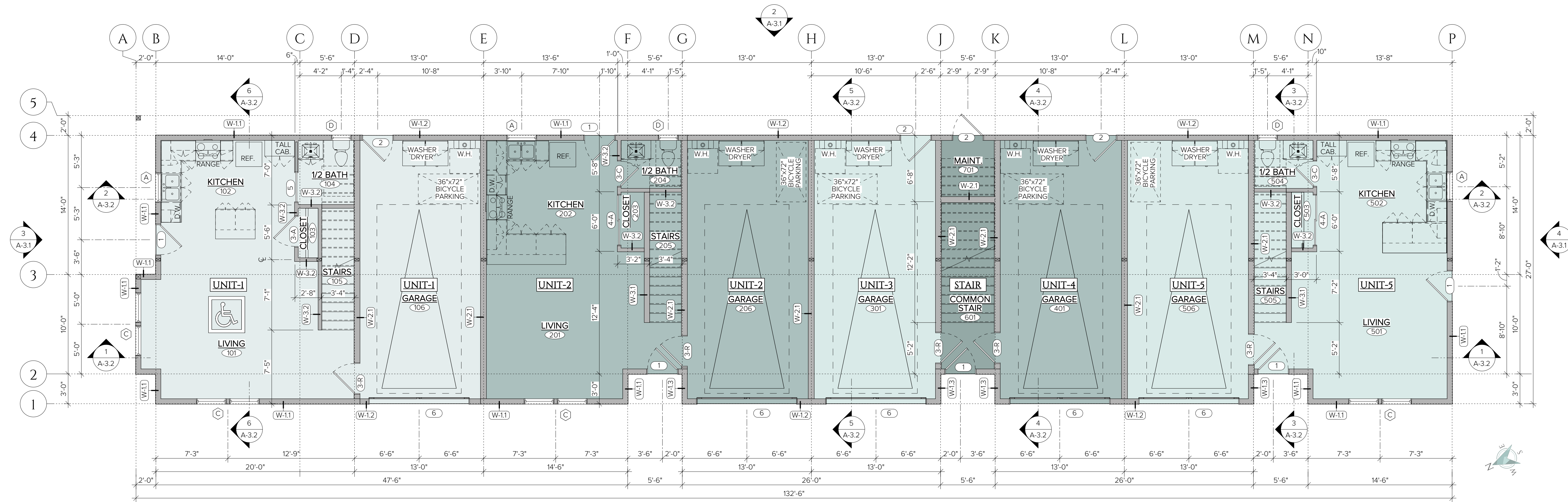
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SHEET DATE: 4.5.2024
DRAWN BY: CAT ORY

SHEET NO.

A-2.0

BUHNE MULTI-FAMILY
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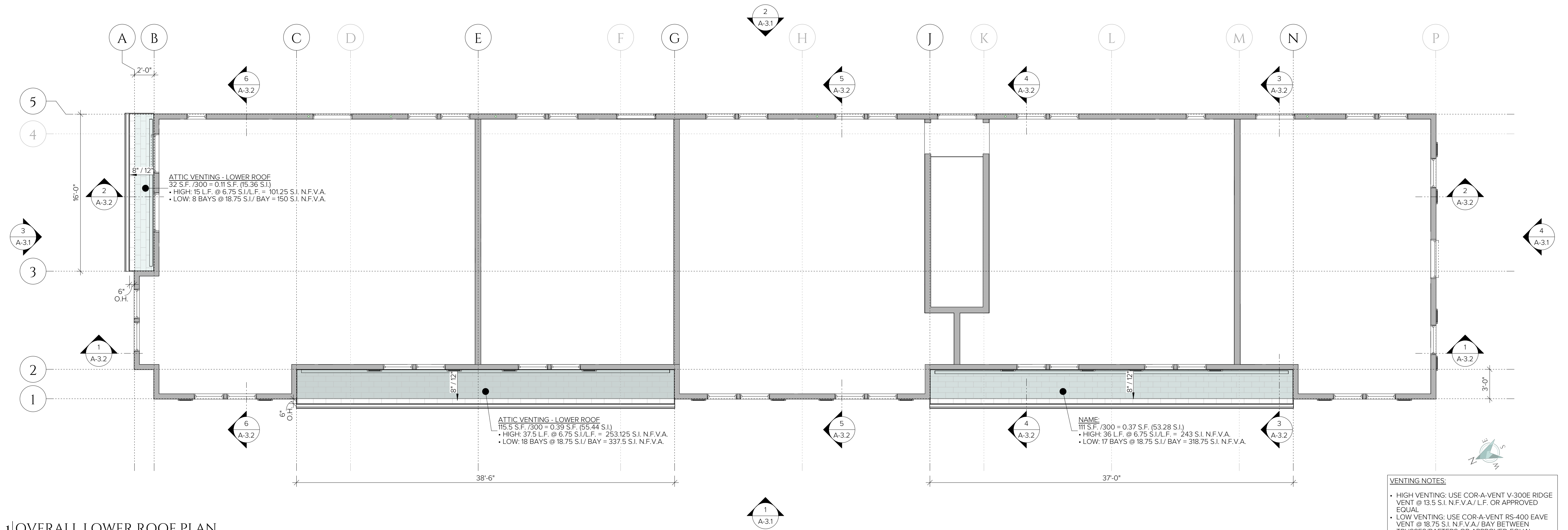
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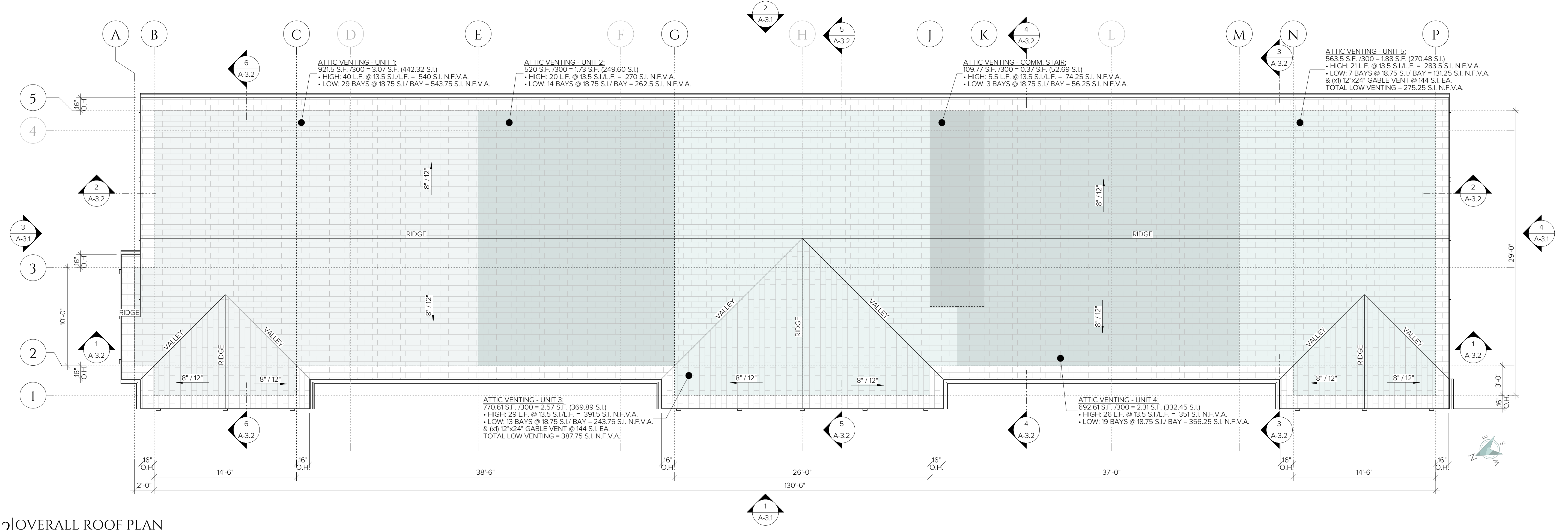
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A-2.1

BUHNE MULTI-FAMILY



1 OVERALL LOWER ROOF PLAN
SCALE: 3/16" = 1'-0"



2 OVERALL ROOF PLAN
SCALE: 3/16" = 1'-0"

REVISIONS

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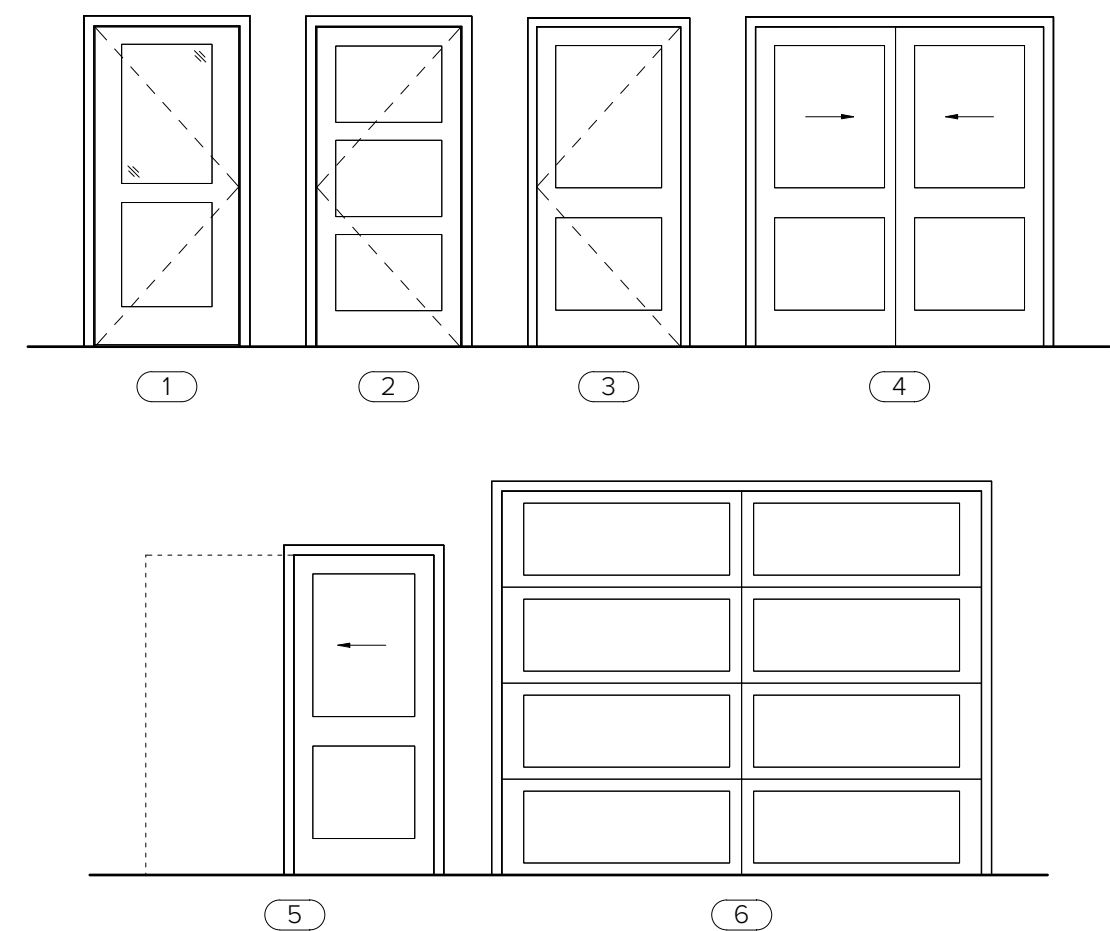
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BUHNE MULTI-FAMILY

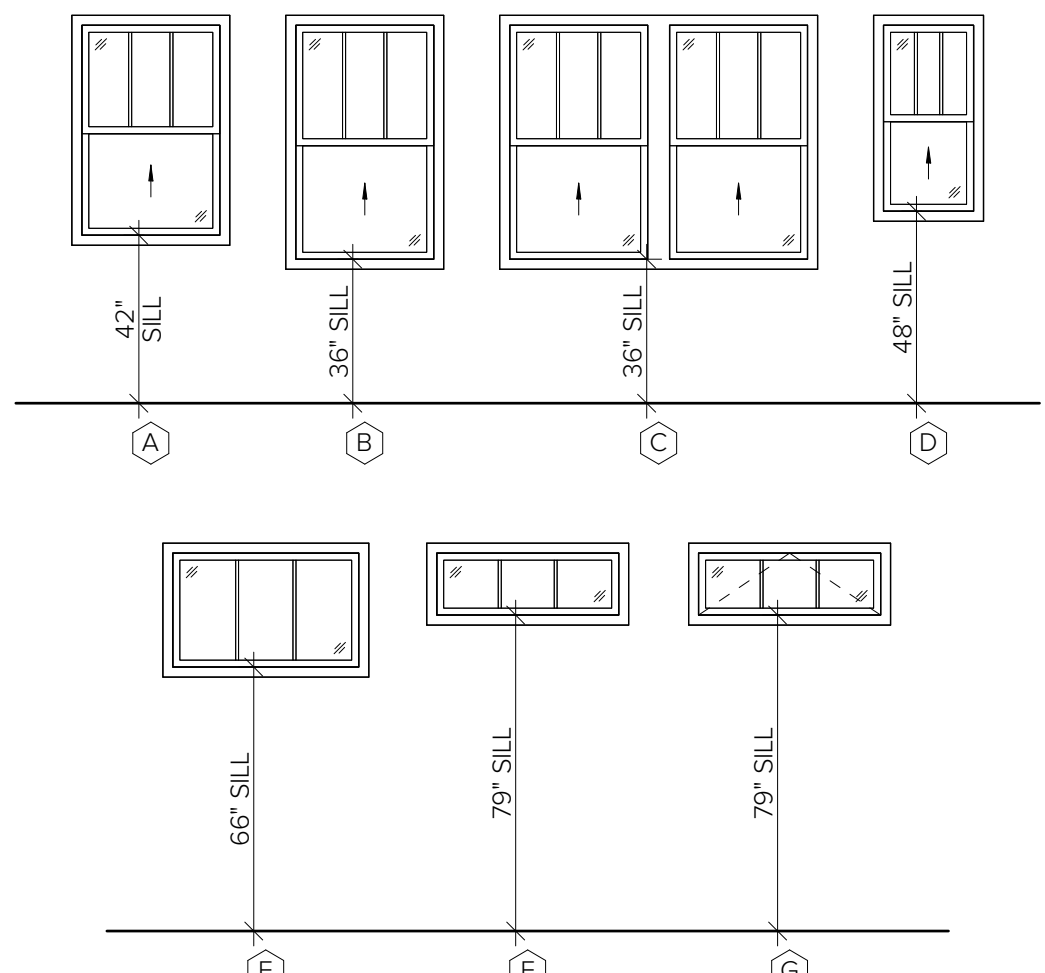
| ROOM SCHEDULE | | | | | | |
|---------------|--------------|--------------|-------------|-------------|----------------|----------|
| # | ROOM NAME | FLOOR FINISH | BASE FINISH | WALL FINISH | CEILING FINISH | COMMENTS |
| UNIT-1 | | | | | | |
| 101 | LIVING | | | | | |
| 102 | KITCHEN | | | | | |
| 103 | CLOSET | | | | | |
| 104 | 1/2 BATH | | | | | |
| 105 | STAIRS | | | | | |
| 106 | GARAGE | | | | | |
| 107 | HALL | | | | | |
| 108 | LINEN | | | | | |
| 109 | BATH | | | | | |
| 110 | BEDROOM 1 | | | | | |
| 111 | WALK-IN | | | | | |
| 112 | BEDROOM 2 | | | | | |
| 113 | CLOSET | | | | | |
| 114 | BEDROOM 3 | | | | | |
| 115 | CLOSET | | | | | |
| UNIT-2 | | | | | | |
| 201 | LIVING | | | | | |
| 202 | KITCHEN | | | | | |
| 203 | CLOSET | | | | | |
| 204 | 1/2 BATH | | | | | |
| 205 | STAIRS | | | | | |
| 206 | GARAGE | | | | | |
| 207 | HALL | | | | | |
| 208 | BEDROOM 1 | | | | | |
| 209 | CLOSET | | | | | |
| 210 | LINEN | | | | | |
| 211 | CLOSET | | | | | |
| 212 | BEDROOM 2 | | | | | |
| 213 | BATH | | | | | |
| UNIT-3 | | | | | | |
| 301 | GARAGE | | | | | |
| 302 | LIVING | | | | | |
| 303 | KITCHEN | | | | | |
| 304 | PANTRY | | | | | |
| 305 | HALL | | | | | |
| 306 | BEDROOM 1 | | | | | |
| 307 | CLOSET | | | | | |
| 308 | BATH | | | | | |
| 309 | BEDROOM 2 | | | | | |
| 310 | CLOSET | | | | | |
| UNIT-4 | | | | | | |
| 401 | GARAGE | | | | | |
| 402 | LIVING | | | | | |
| 403 | KITCHEN | | | | | |
| 404 | PANTRY | | | | | |
| 405 | HALL | | | | | |
| 406 | LINEN | | | | | |
| 407 | BATH | | | | | |
| 408 | BEDROOM 1 | | | | | |
| 409 | CLOSET | | | | | |
| UNIT-5 | | | | | | |
| 501 | LIVING | | | | | |
| 502 | KITCHEN | | | | | |
| 503 | CLOSET | | | | | |
| 504 | 1/2 BATH | | | | | |
| 505 | STAIRS | | | | | |
| 506 | GARAGE | | | | | |
| 507 | HALL | | | | | |
| 508 | BEDROOM 1 | | | | | |
| 509 | CLOSET | | | | | |
| 510 | BATH | | | | | |
| 511 | BEDROOM 2 | | | | | |
| 512 | CLOSET | | | | | |
| COMMON STAIRS | | | | | | |
| 601 | COMMON STAIR | | | | | |
| 602 | COMMON STAIR | | | | | |
| MAINTENANCE | | | | | | |
| 701 | MAINT. | | | | | |

| DOOR SCHEDULE | | | | | | |
|---------------|-----|--------|--------|-----------------------------|----------|--|
| TYPE | QTY | WIDTH | HEIGHT | DESCRIPTION | COMMENTS | |
| 1 | 6 | 3'-0" | 6'-8" | EXTERIOR SINGLE 1/2 LITE | | |
| 2 | 6 | 3'-0" | 6'-8" | EXTERIOR 3-PANEL | | |
| 3-A | 9 | 3'-0" | 6'-8" | SINGLE 2-PANEL | | |
| 3-B | 10 | 2'-8" | 6'-8" | SINGLE 2-PANEL | | |
| 3-C | 4 | 2'-6" | 6'-8" | SINGLE 2-PANEL | | |
| 3-R | 5 | 3'-0" | 6'-8" | SINGLE 2-PANEL - FIRE RATED | | |
| 4-A | 6 | 5'-0" | 6'-8" | DBL BYPASS 2-PANEL | | |
| 4-B | 6 | 6'-0" | 6'-8" | DBL BYPASS 2-PANEL | | |
| 5 | 1 | 3'-0" | 6'-8" | SINGLE 2-PANEL POCKET | | |
| 6 | 5 | 10'-0" | 8'-0" | EXTERIOR GARAGE DOOR | | |

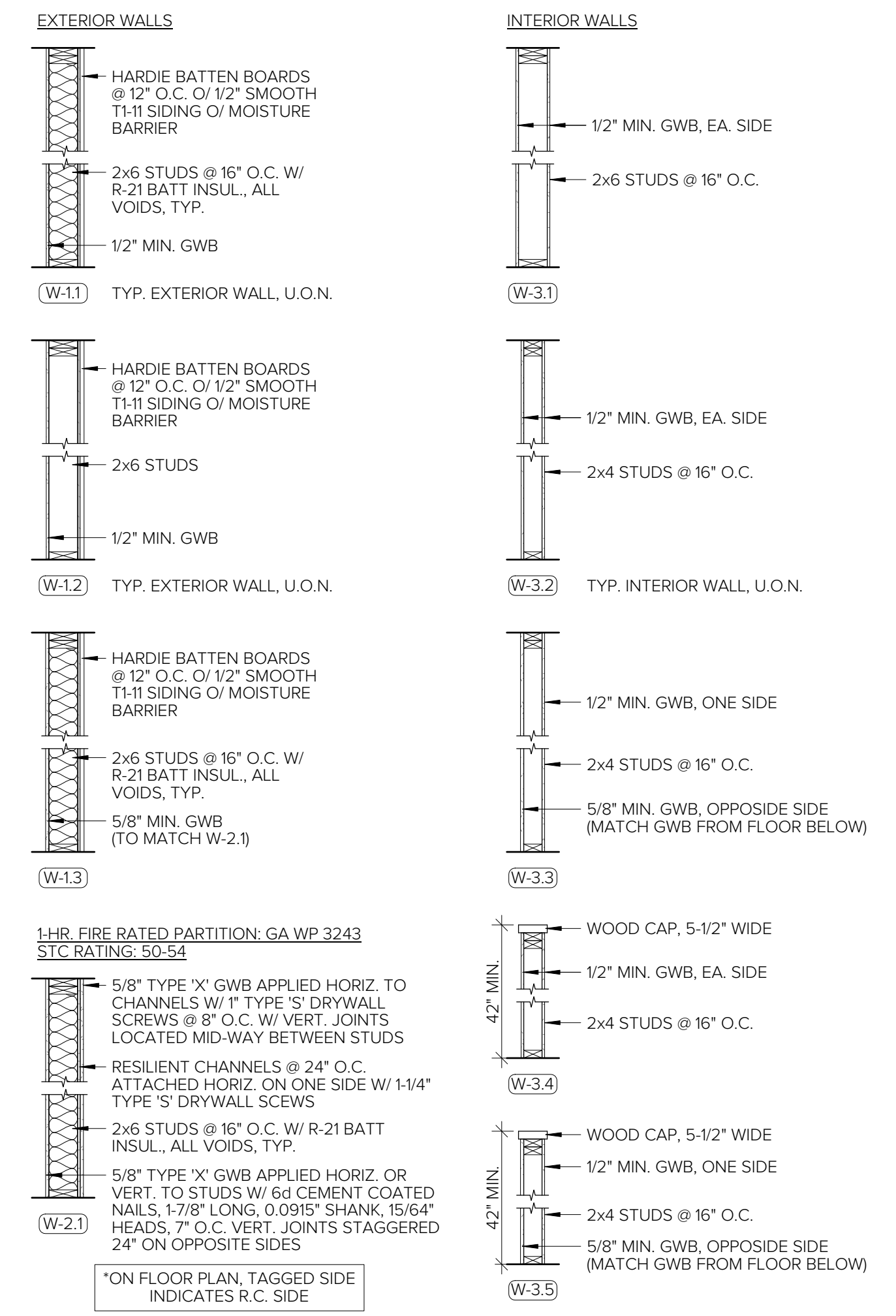


1 | DOOR LEGEND & SCHEDULE

| WINDOW SCHEDULE | | | | | | |
|-----------------|-----|-------|--------|-------------------------|----------|--|
| MARK | QTY | WIDTH | HEIGHT | OPERATION | COMMENTS | |
| A | 3 | 3'-0" | 4'-4" | SINGLE-HUNG | | |
| B | 2 | 3'-0" | 5'-0" | SINGLE-HUNG | | |
| C | 19 | 6'-4" | 5'-0" | SINGLE-HUNG (MULLED x2) | | |
| D | 5 | 2'-0" | 4'-0" | SINGLE-HUNG | | |
| E | 4 | 4'-0" | 2'-6" | FIXED | | |
| F | 1 | 4'-0" | 1'-6" | FIXED | | |
| G | 2 | 4'-0" | 1'-6" | AWNING | | |



2 | WINDOW LEGEND & SCHEDULE



3 | WALL LEGEND

| REVISIONS | | |
|-----------|------|-------------|
| # | DATE | DESCRIPTION |
| | | |
| | | |
| | | |

SHEET DATE: 4.5.2024
DRAWN BY: CAT ORY

SHEET NO.
A-3.1

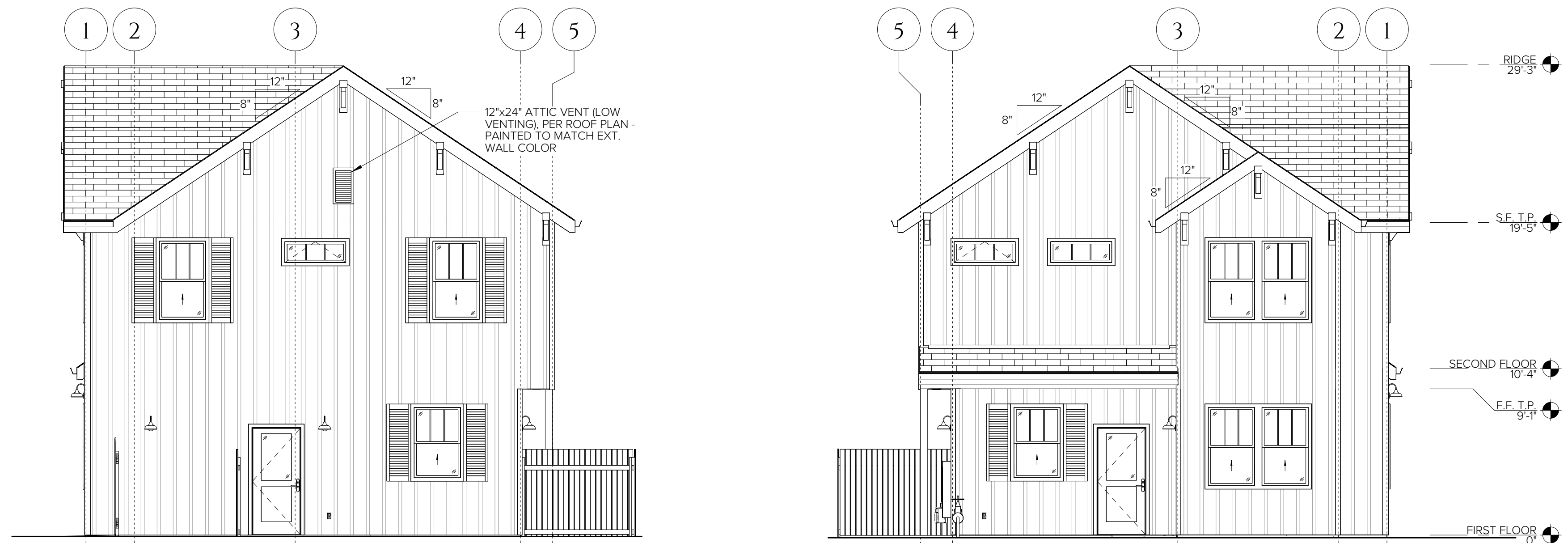
BUHNE MULTI-FAMILY
4/5/2024 3:54:41 PM



1 WEST ELEVATION
SCALE: 3/16" = 1'-0"



2 EAST ELEVATION
SCALE: 3/16" = 1'-0"



4 SOUTH ELEVATION
SCALE: 3/16" = 1'-0"

3 NORTH ELEVATION
SCALE: 3/16" = 1'-0"