



ATTACHMENT 4:

SECTION 155.312 (BUILDING
DESIGN STANDARDS) – PROPOSED,
EXISTING, AND CROSSWALK

Section 155.312 – BUILDING DESIGN STANDARDS

Subsections:

155.312.010 – Purpose

155.312.020 – Administrative Provisions

155.312.030 – Building Massing

155.312.040 – Building Entrances

155.312.050 – Facade and Roof Design

155.312.010 – Purpose

This section establishes objective design standards for new, remodeled, or expanded buildings in Eureka. The intent of these standards is to:

- (A) Ensure that public-facing buildings feature quality design that contributes to Eureka’s distinctive identity and unique sense of place.
- (B) Increase certainty and predictability in the development project approval process.
- (C) Protect the public health, safety and welfare in light of State laws requiring streamlined ministerial approval of qualifying multi-unit residential projects.

155.312.020 – Administrative Provisions

(A) Applicability.

- (1) **When Required.** In the mixed-use and residential zoning districts, the following development projects must comply with the standards in this section:
 - (a) Any new building 500 square feet or larger in floor area.
 - (b) Any exterior modifications or additions to a public-facing building facade.
- (2) **Exempt Projects.** The following projects are not required to comply with the standards in this section:
 - (a) Single-family homes and structures accessory to a single-family home.
 - (b) Accessory dwelling units.
 - (c) Modifications and additions to existing structures where the modification or addition is not facing a public frontage.
 - (d) Hospitals, medical offices and clinics, and other health care-related uses in the Hospital Medical (HM) zoning district.
 - (e) Public infrastructure and public utility uses in any zoning district.

- (3) **Nonconforming Existing Buildings.**
 - (a) As provided in 155.424.040 (Nonconforming Buildings), an existing building nonconforming to this section may be modified if the project does not increase or exacerbate the nonconformity.
 - (b) In such cases, the nonconforming building may remain. The project is not required to bring the nonconforming building into compliance with this section. Additions to an existing nonconforming building, however, must comply with this section.
- (B) **Exceptions and Deviations.** A project may deviate from one or more standards in this section through any of the following:
 - (1) **Staff-Level Deviations Without Public Notice or Hearing.** When eligible, an applicant may request deviation from a standard through the following staff-level approvals, which require written findings but do not require public notice or hearing:
 - (a) Administrative Adjustments (155.412.030).
 - (b) Minor Modifications (155.412.070).
 - (c) Reasonable Accommodations (155.412.080).
 - (2) **Staff-Level Deviations with Notice of Pending Action.** When eligible, an applicant may request deviation from a standard through the following staff-level approvals, which require written findings and a Notice of Pending Action as provided by 155.408.090 (Notice of Pending Action):
 - (a) Minor Infill Incentive Permits (155.412.060).
 - (b) Minor Variances (155.412.140).
 - (3) **Commission/Committee Deviations.** If a requested deviation is ineligible for a staff-level approval, an applicant may request deviation from the standard through one of the following discretionary approvals, each of which requires a noticed public hearing before the applicable decision-making body:
 - (a) Discretionary Design Review (155.412.040).
 - (b) Major Infill Incentive Permits (155.412.060).
 - (c) Major Variances (155.412.140).
 - (4) **Density Bonus.** An applicant may deviate from a standard in this section when requested as a waiver, concession, or incentive included in a density bonus application pursuant to 155.344 (Density Bonus).
 - (5) **Effect on Streamlining Under State Law.** Except as provided in Paragraph 4 (Density Bonus), a project requesting any deviation pursuant to this Division B is requesting a discretionary approval and is ineligible for streamlined or ministerial approval under

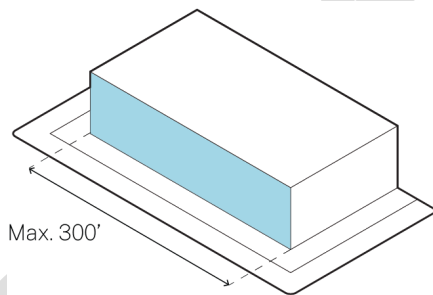
Government Code Section 65913.4, Government Code Chapter 4.1, or any other state law providing a ministerial approval process for qualifying projects.

- (C) **Neighborhood Information Meeting.** A project with 20,000 square feet of new floor area or more that is subject to this section and doesn't require a noticed public hearing shall comply with the requirements in 155.408.120 (Neighborhood Information Meeting).

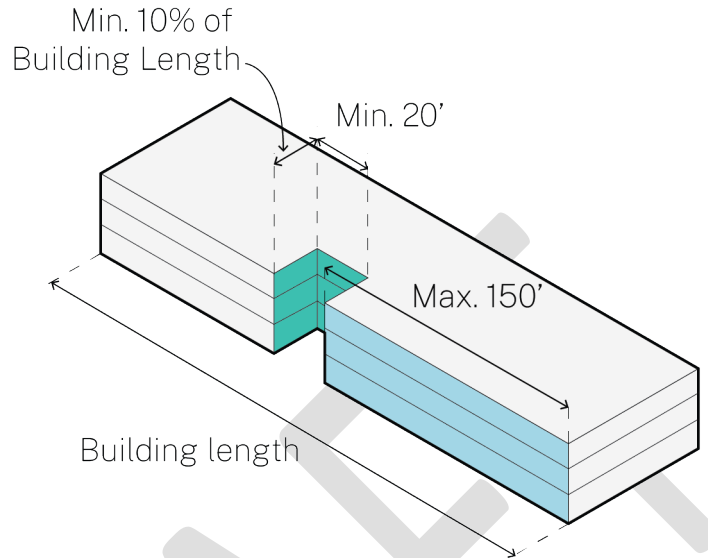
155.312.030 – Building Massing

- (A) **Intent.** The intent of the building massing standards is to provide for human-scale and pedestrian-friendly building massing where large buildings are broken into smaller volumes.
- (B) **Standards.**
- (1) **Maximum Building Length.** The length of a building, measured parallel to the public-facing building facade, shall not exceed 300 feet. See Figure 312-1. This standard does not apply to a building without a public-facing building facade.

Figure 312-1: Maximum Building Length



- (2) **Major Massing Breaks.**
- A public-facing building facade that is 150 feet or more in length shall provide a horizontal change in the building plane with a depth of at least 10 percent of the building length. See Figure 312-2.
 - The change in building plane shall extend from the finished ground floor through the full height of the building including breaking the roof plane.
 - At least one change shall be provided for every 150 feet of building length.
 - If the change is provided as a building wall inset or projection, the inset or projection shall be at least 20 feet wide.

Figure 312-2: Major Massing Breaks**155.312.040 – Building Entrances**

(A) **Intent.** The intent of the building entrances standards is to:

- (1) Support cohesive neighborhoods and social interaction with outward facing buildings.
- (2) Support a pedestrian-oriented public realm with an attractive and welcoming streetscape character.
- (3) Provide for sensitive transition from the public realm (sidewalk) to the private realm.

(B) **Standards.**

(1) **Entrance Orientation.**

- (a) **Buildings with One Primary Entry.** For buildings with one primary entrance that provides interior access to multiple individual dwelling units or non-residential tenant spaces, the primary building entrance must face a public frontage. See Figure 312-3.
- (b) **Multiple Independent Entries.**
 1. On lots where units/tenant spaces have independent entrances, all ground floor units/tenant spaces facing a public frontage must have an entrance facing the public frontage. If any wall of a ground-floor unit/tenant space

faces the public frontage, the unit/tenant space must comply with this requirement.

2. For units/tenant spaces that do not front a public frontage, entrances may face the interior of the lot. See Figure 312-4.

Figure 312-3: Building Entry Orientation – Single Primary Entry

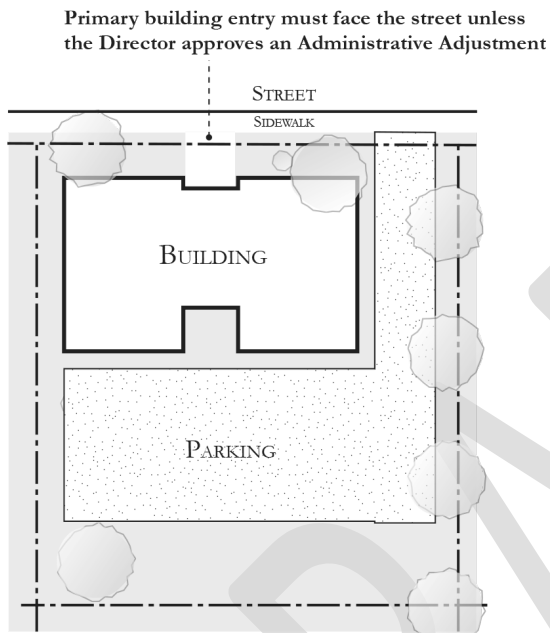
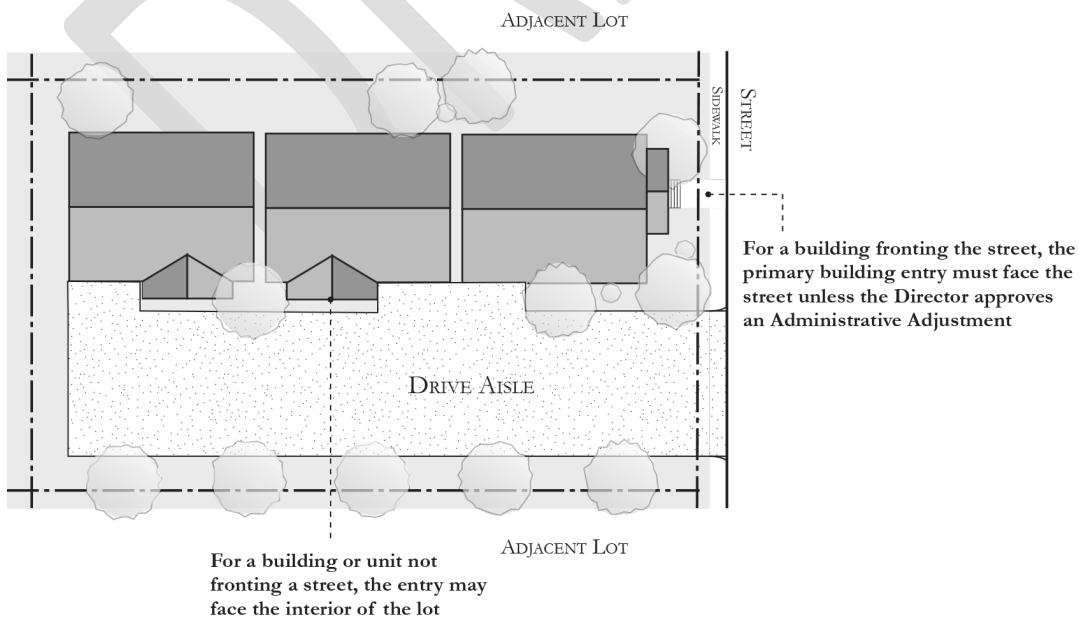


Figure 312-4: Building Entry Orientation – Multiple Primary Entries

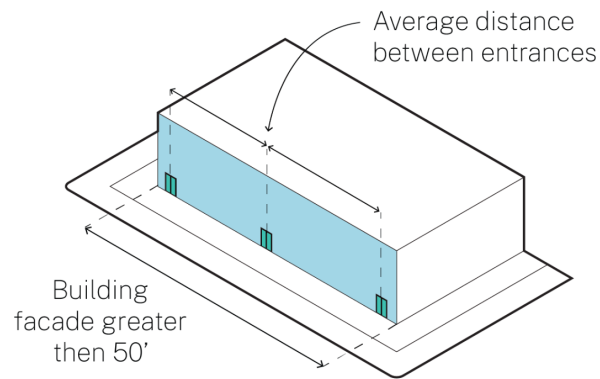


- (c) **Pedestrian Walkway.** All entrances facing a public frontage must be connected to the adjacent public sidewalk, pathway, or open space with a pedestrian walkway.
- (d) **Corner Buildings.** Where a building or ground floor unit/tenant space faces a public frontage on two sides (e.g., on a corner), only one of the two sides must have an entrance unless required otherwise by Paragraph 2 (Minimum Number of Entrances) below.

(2) **Minimum Number of Entrances.**

- (a) The ground floor of a public-facing building facade greater than 50 feet in length shall provide at least one entrance accessed from the adjoining public sidewalk, pathway, or open space. See Figure 312-5.

Figure 312-5: Minimum Number of Entrances



- (b) In such cases, the average distance between entrances shall not exceed:
 1. 30 feet for townhouses;
 2. 90 feet for multifamily buildings; and
 3. 100 feet for non-residential uses.
- (c) Required entrances shall serve the primary use of the building. Doors used to access ancillary building functions (e.g., storage closets or trash rooms) may not be used to meet this standard.

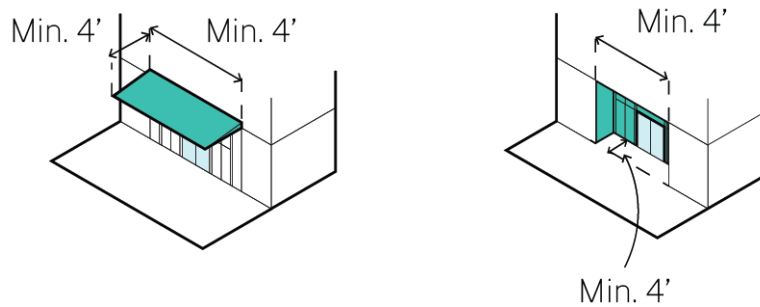
(3) **Building Entrance Exceptions.**

- (a) The Director may allow an exception to the building entry requirements in Paragraphs 1 and 2 above with an Administrative Adjustment.
- (b) To approve the Administrative Adjustment, the Director must make the findings in 155.412.030(F) (Findings for Approval) and find that:

1. The public-facing building wall incorporates architectural features and design details beyond the minimum requirements in 155.312.050 (Facade and Roof Design); and
2. The exception allows for a clearly superior project to that which can be achieved while complying with the building entry requirement.

(4) **Entrance Design.**

- (a) **Entrances to Individual Residential Units.** Entrances to individual units (e.g., townhome entrances) must be emphasized with one or more of the following:
1. An awning or canopy above the entry with a minimum outward projection of 3 feet and minimum width sufficient to clear the entrance on both sides.
 2. A recess in the building wall with a minimum width of four feet and depth of two feet. A recessed entry must feature design elements that call attention to the entrance through contrasting materials, crown molding, decorative trim, external lighting, differentiated paving in recessed area, or similar architectural features clearly recognizable from the adjacent public frontage.
 3. A covered porch, providing access to the entry, with a minimum dimension of five feet by five feet.
 4. A patio with minimum dimensions of five feet by five feet. A patio may include a partition not to exceed 42 inches in height between the sidewalk and the patio to define the transition between public and private space.
- (b) **Shared and Non-Residential Entrances.** The following standards apply to all primary building entrances shared by two or more units or serving a non-residential use.
1. **Weather Protection.** Primary building entrances shall include weather protection with either:
 - a. A projecting non-fabric awning, canopy, extended eave, or other similar feature above the entry, minimum four feet wide by four feet deep; or
 - b. A recessed entry, minimum four feet wide by four feet deep. See Figure 312-6.

Figure 312-6: Weather Protection

2. **Visual Prominence.** Primary building entrances must be clearly visible from the adjacent public sidewalk, pathway, or open space with visual prominence. Projects must select one or more of the following methods to satisfy this requirement:
 - a. A building wall modulation, either a recess or a projection, for the full building wall height above the entrance with a minimum depth of either 1) four feet; or 2) six inches with color and materials that contrast with the surrounding facade. A projection may apply only to stories above the ground floor. A recessed entry required by Paragraph 1 (Weather Protection) may not be used to meet this visual prominence standard.
 - b. A taller building roof element above an entry that projects above the adjacent roofline by at least four feet. The projecting roof element width shall be no greater than twice the entrance width.
 - c. A frontage court, minimum 25 feet wide by 25 feet deep, enclosed on at least three sides by building walls.
 - d. A distinctive corner building treatment integrated into a corner entrance, such as rounded or angled facets or an embedded corner tower.
 - e. A projecting non-fabric awning, canopy, extended eave, or other similar feature above the entry, minimum 10 feet wide by four feet deep, with material and color contrasting with the surrounding facade.
 - f. Entry materials or colors that contrast with surrounding facade treatment.
 - g. Fenestration pattern that contrasts with surrounding window treatment.
 - h. Projecting architectural elements surrounding or above the entrance, such as columns, porticos, balconies, and ornamental light fixtures.

- i. Artwork integrated into the entry design.

155.312.050 – Facade and Roof Design

(A) **Intent.** The intent of the facade and roof design standards is to:

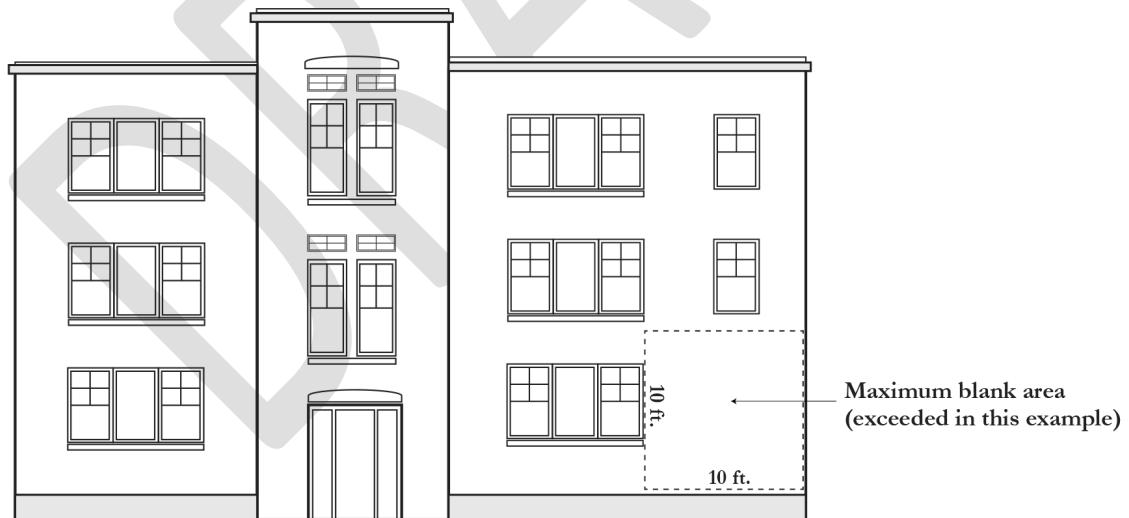
- (1) Create public-facing building facades that are varied and interesting with human-scale design details.
- (2) Incorporate architectural elements that reduce the box-like appearance and perceived mass of buildings.
- (3) Provide for new buildings designed as a unified whole with architectural integrity.
- (4) Ensure quality materials that maintain their appearance over time.

(B) **Standards.**

(1) **Blank Walls.**

- (a) **Maximum Blank Wall Area.** The area of a blank building wall on a public-facing building facade may not exceed a square area where the height and width are both 10 ft. See Figure 312-7.

Figure 312-7: Blank Walls



(b) **Breaks in Blank Walls.**

1. A break in a blank building wall may be provided by any of the following:
 - a. Doors, windows, or other building openings.

- b. Building projections or recesses, doorway and window trim, or other details that provide architectural articulation and design interest.
 - c. Varying wall planes where the wall plane projects or is recessed at least six inches.
 - d. Non-fabric awnings, canopies or arcades.
 - e. Substantial variations in building material. For example, adding brick or stone veneer to a stucco building or changing from vertically-oriented board and baton style siding to horizontally-oriented lap siding.
 - f. Building-integrated vegetation (i.e., a living wall) with irrigation system.
2. The following do not qualify as a break in blank wall:
- a. Variation in exterior building wall color.
 - b. Vegetation or landscaping, except as provided in Paragraph 1 above.
 - c. Mechanical appurtenances such as water heaters, vents, or utility meters.
 - d. Gutters.
 - e. Signage.
 - f. Murals.

(2) Equivalent Degree – New Buildings.

- (a) For new buildings located on sites with multiple public frontages, such as buildings on corner or double frontage lots, each side of the building facing a public frontage must feature:
 - 1. An equivalent quality of materials; and
 - 2. An equivalent degree and quality of detailing.
- (b) For example, on a corner lot, the quality and design detail of windows on the side of the building that faces the side street must be comparable to windows on the front building wall.

(3) Garages Serving Individual Dwelling Units. In addition to standards in 155.324.060 (Parking Design and Development Standards), garages that are oriented toward the street (“front-loaded”) shall comply with the following:

- (a) Garage doors may occupy no more than 40 percent of a building’s street frontage. See Figure 312-8.
- (b) Maximum garage door dimensions: nine feet wide by eight feet high.

- (c) garage doors shall be accompanied by a stoop or porch serving the primary unit entrance.
- (d) Garage doors shall be located a minimum of one foot from one another.
- (e) Garage doors must incorporate one or more of the following so that the garage doors are visually subservient and complementary to other building elements (see Figure 312-9):
 1. Garage door windows or architectural detailing consistent with the main dwelling.
 2. Arbor or other similar projecting feature above the garage doors.
 3. Landscaping occupying fifty percent or more of driveway area serving the garage (e.g, "ribbon" driveway with landscaping between two parallel strips of pavement for vehicle tires).
 4. Garage door recessed a minimum of 18 inches from a street-facing wall plane.
 5. Two or more units share a single driveway.
 6. A covered porch, balcony, bay window, or similar element projects beyond the garage (from above).

Figure 312-8: Maximum Garage Door Width

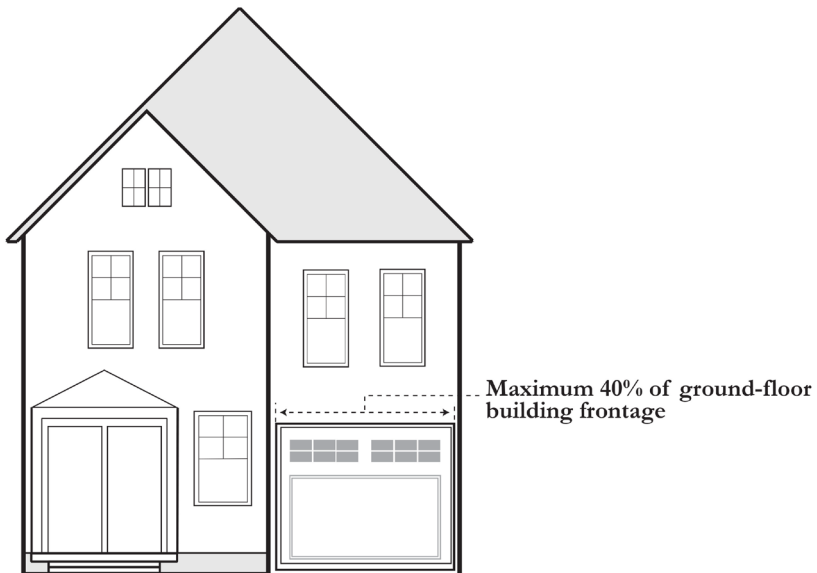
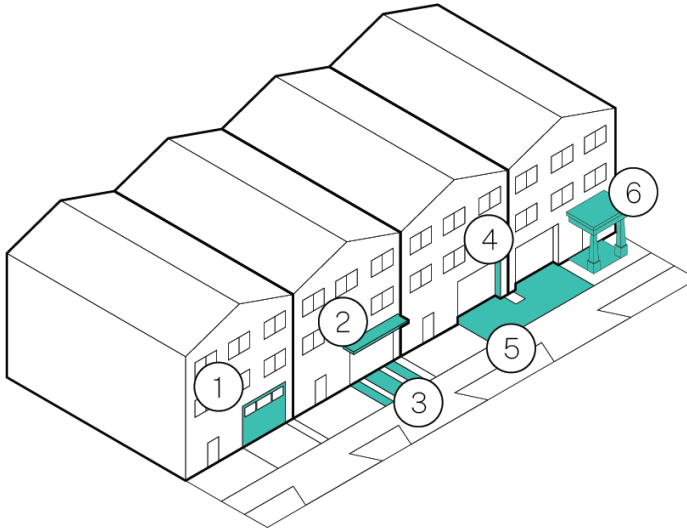


Figure 312-9: Garage Design

- (4) **Parking Garages.** The following standards apply to stand-alone parking garages and structured parking incorporated into a building.
- (a) Except for vehicle and pedestrian entrances to the garage, all parking garages shall be concealed from public street view by:
 1. Lining the street-facing portion of the parking garage with a residential or commercial use with a minimum depth of 20 feet; or
 2. Incorporating architectural or decorative facade treatments that fully screen all internal vehicle parking facilities from view.
 - (b) Parking garage vehicle entrances facing the street shall be no more than 24 feet wide. Garage entries to loading and utility/service areas shall not exceed 30 feet in width.
 - (c) Parking garages shall provide at least one clearly delineated at-grade pedestrian entrance on each street-facing frontage, physically separated from the vehicle entrance and connecting directly to the public pedestrian circulation network.
 - (d) Partially sub-grade parking shall not have an exposed facade that exceeds five feet in height above abutting grade at back of sidewalk.
 - (e) Partially sub-grade parking shall include a landscaped planter between the street and the garage facade. The planter shall be at least four feet wide with a planting height and vegetative cover sufficient to fully screen the podium edge and ventilation openings from view. At maturity, plantings shall comprise a minimum of 75 percent of the total landscape planter area.

(5) **Ground Floor Transparency.**

(a) **Non-Residential Uses.**

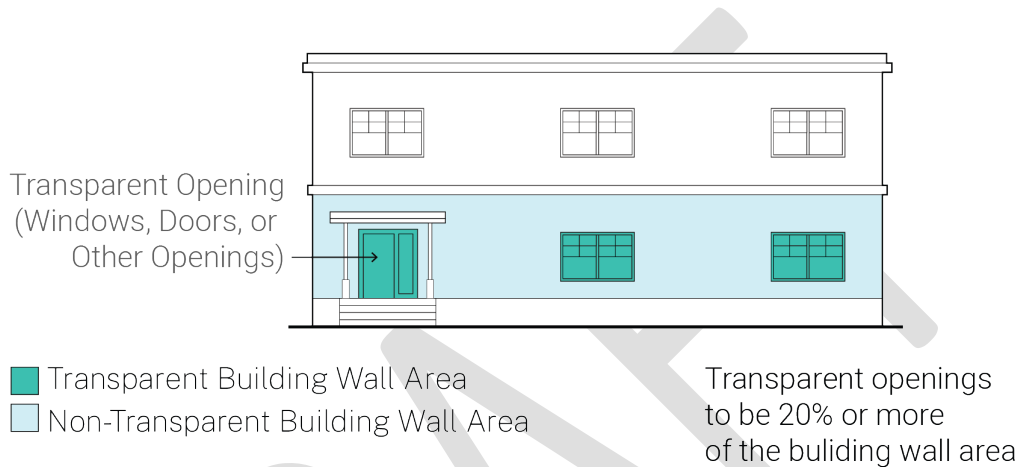
1. A non-residential ground floor of a public-facing building facade must provide transparent windows or doors with views into the building for a minimum of 65 percent of the building frontage located between three and seven feet above the sidewalk. See Figure 312-10.
2. Window and door area must be transparent to allow views into the building, but may be translucent (e.g., frosted) for privacy purposes, provided that the windows can be returned to a transparent state.

Figure 312-10: Storefront Transparency (between three and seven feet above the sidewalk)



- (b) **Residential Uses.** A minimum of 20 percent of the ground-floor of a public facing building facade shall be comprised of entries, windows, and/or glazing. Trim, including window shutters, is counted towards meeting this requirement. Garage doors are not included. See Figure 312-11.

Figure 312-11: Ground-Floor Residential Transparency



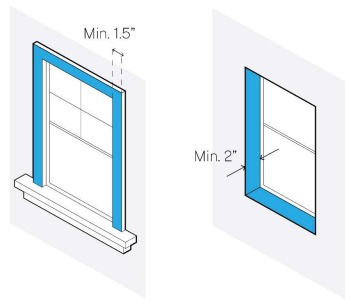
- (c) **Exceptions.** The Director may allow exceptions to ground floor transparency requirements with an Administrative Adjustment. To approve the Administrative Adjustment, the Director must make the findings in 155.412.030(F) (Findings for Approval) and the following additional findings:
1. The proposed use has unique operational characteristics that preclude windows or other transparent building openings, such as for a cinema or theater; and
 2. Public-facing building walls will exhibit architectural relief and detail, and will be enhanced with landscaping in such a way as to create visual interest at the pedestrian level.
- (6) **Corner Buildings.** A building located at a street intersection shall incorporate at least one of the following design strategies to highlight the corner feature and provide visual interest. A building is considered to be located at a street intersection if any portion of the building facade is within 30 feet of the point of intersection of the rights-of-way of two public streets.

- (a) **Architectural Emphasis:** Include a tower element, increased height, or distinctive roof form at the corner.
 - (b) **Enhanced Entrances:** Locate a primary or secondary building entrance at the corner and highlight the entrance with a canopy, glazing, or detailing.
 - (c) **Material or Color Accents:** Use a change in material, texture, or color to distinguish the corner from adjacent facades.
 - (d) **Facade Articulation:** Employ projecting or recessed elements such as bays, balconies, or vertical expression lines to create depth and shadow.
 - (e) **Public Space Integration:** Incorporate a small plaza, seating area, or landscaped forecourt at the corner to activate the street edge.
 - (f) **Public Art or Signage:** Integrate a sculpture, mural, or distinctive signage that reinforces the building's identity and contributes to the public realm. Distinctive signage shall be distinguished from standard wall signage through one or more of the following objective characteristics:
 - 1. Placement at or wrapping the building corner.
 - 2. Increased vertical or horizontal dimension relative to other signs on the building.
 - 3. Use of projecting, blade, or vertically oriented sign formats.
 - 4. Integration with architectural features such as cornices, pilasters, or corner entries.
- (7) **Non-Residential Ground Floor Ceiling Height.** A non-residential public-facing building facade must provide a minimum floor to ceiling height of 12 feet on the ground floor.
- (8) **Facade Articulation.** A public-facing building facade shall include a minimum of two of the following facade design strategies to create visual interest:
- (a) **Building Wall Modulation.**
 - 1. A horizontal change in the wall plane, where no building wall exceeds 50 feet without a horizontal change.
 - 2. The change in plane must be at least two feet deep and six feet wide and open to the sky.
 - 3. For buildings with two stories or more, the change in plane must apply to all stories above the ground floor.
 - (b) **Balconies.**
 - 1. At least 20 percent of the public-facing building facade above the ground level contains a balcony.

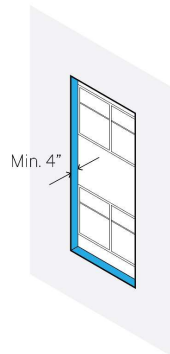
2. Each balcony must be either:
 - a. A traditional balcony that is at least four feet in depth; or
 - b. A Juliet balcony that is served by French doors and that includes metal or glass railings that allow unobstructed visibility.
- (c) **Projecting Windows.**
 1. At least 25 percent of all windows on the building wall consist of projecting windows. The furthest extent of the projecting window must project at least one foot from the building wall.
 2. This requirement may be satisfied with bay windows, oriel windows, bow windows, canted windows, and other similar designs.
- (d) **Recessed Windows.** At least 75 percent of all windows on the building wall are recessed at least four inches from the building wall.
- (e) **Window Trim.**
 1. At least 75 percent of all windows on the building wall feature trim that surrounds the entire window and meets all of the following criteria:
 - a. The trim width is a minimum of 3.5 inches on all sides.
 - b. The trim projects at least 0.75 inches from the building wall.
 - c. Trim material visually contrasts with the building wall.
 2. Trim must be constructed of materials such as wood, fiber cement board, brick, stone, stucco, concrete, or cellular PVC. Foam does not meet this requirement.
- (f) **Rigid Window Coverings.**
 1. At least 50 percent of all windows on the building wall have rigid window coverings, such as rigid awnings, shade devices, above-window cornices or crowns, projecting arches, or other window coverings of equivalent quality.
 2. Flexible materials such as fabric and vinyl do not satisfy this requirement.
- (g) **Combined Window Treatments.** At least 75 percent of all windows on the building wall include any combination of rigid coverings, trim, recess, and/or projection consistent with the design standards for each feature above.
- (h) **Window Variation.** Variation in window size and pattern where the area and dimensions of windows are different for at least two of the stories. Area and dimensions of individual windows must vary by at least 25 percent on the contrasting stories.

- (i) **Distinctive Materials.** At least 40 percent of the building wall is covered in one of these materials:
 - 1. Masonry such as brick, stone, terrazzo, ceramic tile, or comparable material. Exposed cinder block does not satisfy this requirement.
 - 2. High-grade wood that is finished with a clear sealer or semi-transparent stain. Wood may not be painted or finished with an opaque stain. Faux wood products made from synthetic materials, including vinyl, cellular PVC, and fiber cement do not satisfy this requirement.
 - 3. Glass, including window glass.
 - (j) **Living Wall.** At least 20 percent of the building wall incorporates an integrated living wall or building integrated vegetation, including an integrated water delivery system.
 - (k) **Varied Materials.**
 - 1. The building wall features two or more visibly contrasting primary materials, (e.g., wood shingles and stucco), with each material occupying at least 20 percent of the building wall area. To be visibly contrasting, materials must have clearly distinct visual qualities in color, texture, or pattern. Variations within a single material type (e.g., different profiles or patterns of fiber-cement siding) may satisfy this requirement if they create an evident change in texture or shadow line visible from the public frontage.
 - 2. The Varied Materials option may not be double counted with the Distinctive Materials option to satisfy the Facade Articulation requirement. For example, a building wall that is 40 percent masonry and 10 percent wood siding can qualify for Varied Materials, but cannot simultaneously qualify for Distinctive Materials.
 - (l) **Ground Level Porches and Patios.** Porches and patios on the ground level, with no more than 50 feet separating each porch or patio. Minimum dimensions: six feet by five feet.
 - (m) **Datum Lines.** Datum lines (horizontal delineation between building levels) that continue for at least 75 percent of the building length, such as cornices, with a minimum four inches in width, or a minimum two inches in width and including a change in material.
 - (n) **Rounded Corner Treatment.** A rounded corner treatment for the full height of the building at the intersection of two streets.
- (9) **Roof Design.** Projects must provide for roofline articulation by selecting one or more of the following techniques for each public-facing building facade:

- (a) Varied roof pitch where at least 25 percent of the roof line has a slope or angle that is different from the remainder of the roofline along the building frontage.
 - (a) A change in facade or roof height of at least five feet for a minimum of 25 percent of the building frontage. Hipped or gabled roofs above a uniform facade plate height do not qualify for this option.
 - (b) A horizontal change in the wall plane, where no building wall exceeds 50 feet without a horizontal change. Change in plane must be at least four feet deep, six feet wide, and open to the sky.
 - (c) Green roof or roof landscaping along a minimum of 75 percent of the building frontage. Landscaping must be designed to be visible from the adjacent public sidewalk, pathway, or open space.
 - (d) A roof deck along a minimum of 75 percent of the building frontage. The roof deck railing must be within five feet of the public-facing parapet.
 - (e) Varied roof types where at least two different roof types each occupy at least 25 percent of the building frontage. Roof types include gable, hipped, shed, and flat roof forms.
 - (f) Overhanging eaves extending at least two feet beyond the building face for the full length of the building.
 - (g) One or more gables that break the horizontal eave occupy at least 25 percent of the building frontage.
 - (h) Dormers integrated into a sloped roof occupying a minimum of 25 percent of the roof length as measured at the eave.
 - (i) A parapet, raised edge, or three-dimensional architectural band that extends along the full length of the roof line. A cornice with or without dentils satisfies this requirement. Surface-applied treatments, including paint, color changes, or graphics, shall not satisfy this requirement.
- (10) **Windows.**
- (a) Except where allowed by Paragraph (b) below, windows for residential uses must have trim at least 1.5 inches in width or be recessed at least two inches from the plane of the surrounding exterior wall. See Figure 312-12.

Figure 312-12: Window Trim or Recess

- (b) Windows that are flat or “flush” with the facade are allowed if applied to a portion of a building that is part of a recessed facade modulation that is recessed at least four inches. See Figure 312-13.

Figure 312-13: Flat Window

- (c) Window designs for vertical mixed-use buildings must differentiate the various uses and functions of the building such as ground-floor retail spaces, stair towers, corners, or residential units. To satisfy this requirement different building components must feature variation in at least two of the following: fenestration size, proportions, pattern, and depth or projection.

(11) Exterior Materials.

- (a) **Prohibited Materials.** The use of uninterrupted plywood siding, unfaced particle board, OSB and/or vinyl as exterior siding material is prohibited.
- (b) **Board and Batten.** Board and batten must consist of separate boards and battens that are installed together onto the building wall. Pre-fabricated sheathing or siding that simulates the board and batten appearance is not allowed.
- (c) **Stucco.** Stucco may be used for a maximum of 50 percent of the public-facing building wall. The calculation of the building wall area excludes windows, doors,

and other building openings. This standard applies to all forms of exterior plaster, including stucco, concrete plaster, elastomer, and other related materials.

(d) **Material Durability.**

1. **Material Lifespan.** Exterior finish materials, including wall cladding, trim, and window assemblies, shall have an expected lifespan of no less than 30 years as specified in the International Association of Certified Home Inspectors estimated life expectancy chart.
2. **Rainwater Protection.** Features to direct rainwater away from exterior walls shall include one or more of the following:
 - a. Cornice, with drip at outer edge of cornice projection (minimum 12-inch projection).
 - b. Projecting eaves (minimum 12-inch projection).
 - c. Scuppers, with or without downspouts (minimum 12-inch projection if no downspouts are used).
 - d. Gutters, with downspouts or rain chains.
3. **Timber Protection.** Exterior timber shall be protected from decay by one or more of the following:
 - a. Material properties (e.g., cedar), adequately stained and sealed.
 - b. Staining and sealing.
 - c. Painting.
4. **Metal Protection.** Exterior ferrous metals shall be protected from corrosion by one or more of the following:
 - a. Metallurgical properties (e.g., galvanized, stainless, or weathering steel).
 - b. Painting or other impermeable coating.

(C) **Rules of Measurement.** The architectural features in 155.312.050(B)(8) (Facade Articulation) and B.9 (Roof Design) are measured as follows:

(1) **Percent of Linear Frontage.**

- (a) Percent of linear frontage is calculated by measuring the total horizontal length of the building wall relative to the total horizontal length of the architectural feature to be evaluated.
- (b) For example, if a two-story building with a 50-foot total horizontal length had two separate 20-foot long balconies on the second floor, then 80 percent of the public-facing wall's linear frontage contains balconies (40 divided by 50).

(2) **Percent of Windows.**

- (a) Percent of all windows is calculated by counting the total number of windows on the building wall and then dividing that number into the architectural feature to be evaluated.
- (b) For example, a building wall that contains 100 windows, 75 of which are recessed from the building wall, has 75 percent recessed windows.

(3) **Percent of Building Wall.**

- (a) Percent of building wall surface area is the total area of the building wall relative to the total surface area of the Architectural Feature to be evaluated. The building wall area measurement includes doors, windows, and other openings within the wall area.
- (b) For example, a building wall that is 100 feet long and 30 feet high has a total surface area of 3,000 square feet (including the wall's windows and doors). If that same wall includes a section of exposed brick that is 50 feet long and 30 feet high, then 50 percent of the total wall surface area has a masonry facade. The 50 percent calculation may include windows and doors inset into brick wall material.

§ 155.312 DESIGN STANDARDS. Existing, Adopted Version

§ 155.312.010 PURPOSE.

This § 155.312 establishes design standards for new development in the residential and mixed-use zoning districts.
(Ord. 885-C.S., passed 5-21-19)

§ 155.312.020 APPLICABILITY.

(A) *When required.* This section applies to the following new development:

- (1) All new primary buildings in the R2 and R3 zoning districts and all new non-residential primary buildings in the R1 zoning district;
- (2) All new primary buildings in the DT, DW, HC, SC, WA, NC, HM and OR zoning districts; and
- (3) Additions adding 30% or more floor area to the total existing floor area of a primary building in the R2 or R3 zoning districts, a primary building in a mixed-use zoning district, or a non-residential primary building in the R1 zoning district.

(B) *Exempt projects.* Projects exempt from this section include the following:

- (1) Single-family homes, including accessory dwelling units and other structures accessory to a single-family home;
- (2) Hospitals, medical offices and clinics, and other health care-related uses in the Hospital Medical (HM) zoning district; and
- (3) Public infrastructure and public utility uses in any zoning district.

(C) *Street-facing.* The standards in this section apply to all exterior street-facing portions of a building.

(D) *Equivalent degree.*

(1) For buildings located on sites with multiple street frontages, such as buildings on corner or double frontage lots, each side of the building facing a street must feature:

- (a) An equivalent quality of materials; and
- (b) An equivalent degree and quality of detailing.

(2) For example, on a corner lot, the quality and design detail of windows on the side of the building that faces the side street must be comparable to windows on the front building wall.

(Ord. 885-C.S., passed 5-21-19; Am. Ord. 916-C.S., passed 7-6-21; Am. Ord. 951-C.S., passed 10-17-23)

§ 155.312.030 EXTERIOR MATERIALS.

(A) *Materials allowed.* All exterior materials used for additions and new construction of any primary building in the multi-family residential and mixed-use zoning districts, and non-residential primary buildings in the R1 Zoning District, must allow for long-term durability and appearance. The use of uninterrupted plywood siding, unfaced particle board, OSB and/or vinyl as exterior siding material is prohibited.

(B) *Board and batten.* Vertically-oriented board and batten must consist of separate boards and battens that are installed together onto the building wall. Pre-fabricated sheathing or siding that simulates the board and batten appearance is not allowed.

(C) *Stucco.* For all multi-family and non-residential buildings, stucco may be used for a maximum of 50% of the street-facing building wall. The calculation of the building wall area excludes windows, doors and other building openings. This standard applies to all forms of exterior plaster, including stucco, concrete plaster, elastomer and other related materials.

(Ord. 885-C.S., passed 5-21-19; Am. Ord. 902 C.-S., passed 8-18-20)

§ 155.312.040 BUILDING ENTRIES.

(A) *Buildings with one primary entry.* For buildings with one primary entrance that provides interior access to multiple individual dwelling units or non-residential tenant spaces, the primary building entrance must face the street. See Figure 312-1.

(B) *Multiple independent entries.* On lots where units/tenant spaces have independent entrances, all ground floor units/tenant spaces with street frontage must have an entrance that faces the street. If any wall of a ground floor unit/tenant space faces the street, the unit/tenant space must comply with this requirement. For units/tenant spaces that do not front the street, entrances may face the interior of the lot. See Figure 312-2.

Figure 312-1: Building Entry Orientation - Single Primary Entry

Figure 312-1: Building Entry Orientation – Single Primary Entry

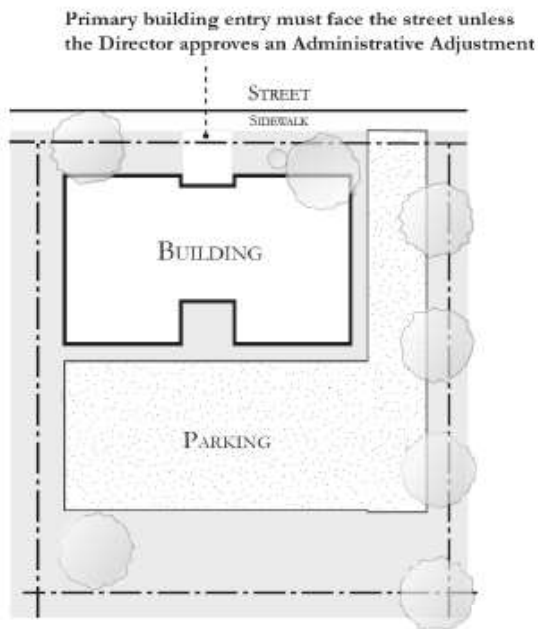
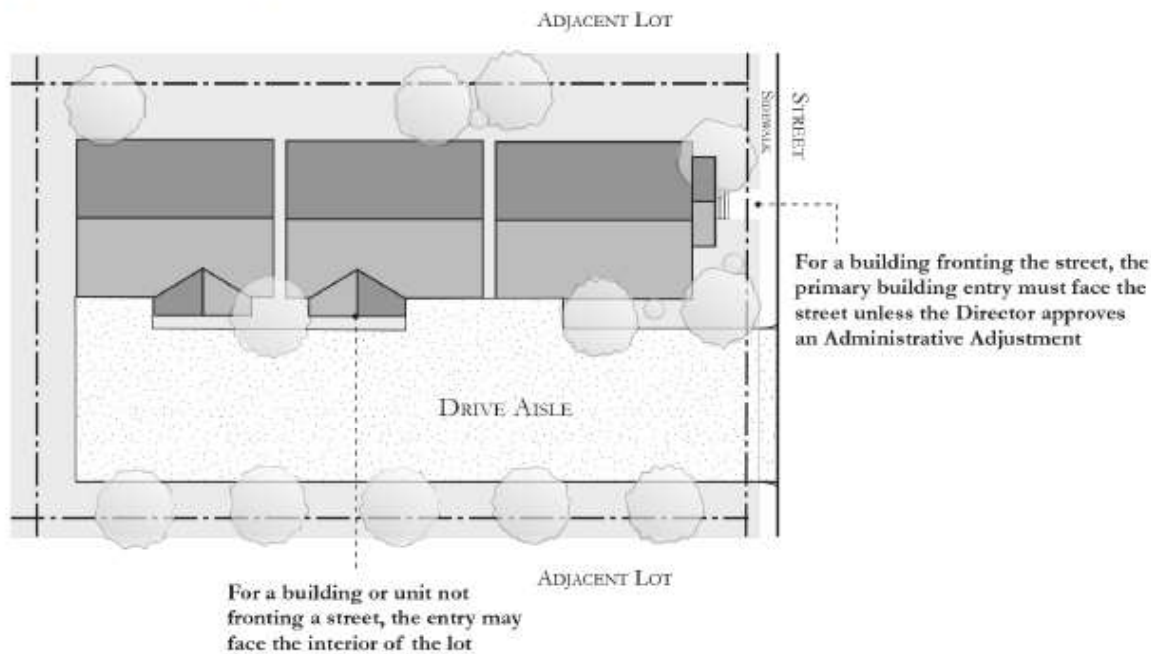


Figure 312-2: Building Entry Orientation - Multiple Primary Entries

Figure 312-2: Building Entry Orientation – Multiple Primary Entries



(C) *Entrance design.*

(1) *Residential projects.* A street-facing primary entrance to residential buildings must feature a porch, covered entry or recessed entry clearly visible from the street to give the entrance prominence. Entrances must be connected to the adjacent sidewalk with a pedestrian walkway. Recessed entries must feature design elements that call attention to the entrance such as ridged canopies, contrasting materials, crown molding, decorative trim or a 45-degree cut away entry. This standard does not apply to secondary or service entrances.

(2) *Non-residential projects.* Primary entrances to non-residential and mixed-use buildings must be emphasized and clearly recognizable from the street. Methods to achieve this result include:

- (a) Projecting non-fabric awnings or canopies above an entry (covered entry);

- (b) Taller building mass above an entry, such as a tower that protrudes from the rest of the building surface;
- (c) Special corner building treatments, such as rounded or angled facets on the corner, or an embedded corner tower, above the entry;
- (d) Special architectural elements, such as columns, porticos, overhanging roofs and ornamental light fixtures;
- (e) Projecting entries or projecting bays in the façade;
- (f) Recessed entries or recessed bays in the façade; and
- (g) Changes in roofline or articulation in the surface of the subject wall.

(D) *Exceptions.*

(1) Where a building or ground floor unit/tenant space has frontage on two streets (e.g., on a corner), only one of the two sides must have an entrance.

(2) The Director may allow an exception to the building entry requirement in this section with an administrative adjustment.

(3) To approve the administrative adjustment, the Director must make the findings in §155.412.030(F) (Findings for Approval) and find that:

(a) The street-facing building wall incorporates architectural features and design details beyond the minimum requirements in § 155.312.050 (Architectural Features); and

(b) The exception allows for a clearly superior project to that which can be achieved while complying with the building entry requirement.

(Ord. 885-C.S., passed 5-21-19; Am. Ord. 902 C.-S., passed 8-18-20; Am. Ord. 916-C.S., passed 7-6-21; Am. Ord. 938-C.S., passed 11-1-22; Am. Ord. 951-C.S., passed 10-17-23)

§ 155.312.050 ARCHITECTURAL FEATURES.

(A) *Options for architectural features.* New buildings must incorporate at least two of the following architectural features on the street-facing portions of buildings (e.g., “roof form variation” and “horizontal articulation” or “projecting bay windows” and “masonry facade”). See division (B) below for rules to measure each type of architectural feature.

(1) *Roof form variation.*

(a) At least 25% of the linear frontage of the building’s street-facing roof line incorporates at least one element of variable roof form that is different from the remainder of the street-facing roof form. See Figure 312-3. The following are examples of how to meet this requirement:

1. Recessed or projecting gabled roof elements;
2. Roof dormers;
3. Changes in roof heights;
4. Changes in direction or pitch of roof slopes; and
5. Other similar methods.

(b) The rule to measure this architectural feature is provided in division (B)(1) above.

(2) *Roof detail and ornamentation.*

(a) At least 80% of the linear frontage of the building’s street-facing roof line incorporates roof detail and/or ornamentation. The following are examples of how to meet this requirement:

1. Parapet wall that is an average of at least one-foot tall and has a cornice;
2. Periodic and articulated corbelling or dentils;
3. An ornamental soffit;
4. A projecting roof eave with decorative fascia and eave returns;
5. A projecting roof eave with exposed rafters;
6. An offset gable clearstory;
7. A half story in which the building features a habitable uppermost story lighted by dormer windows where a sloping roof replaces the upper part of the front wall; and
8. Other similar methods.

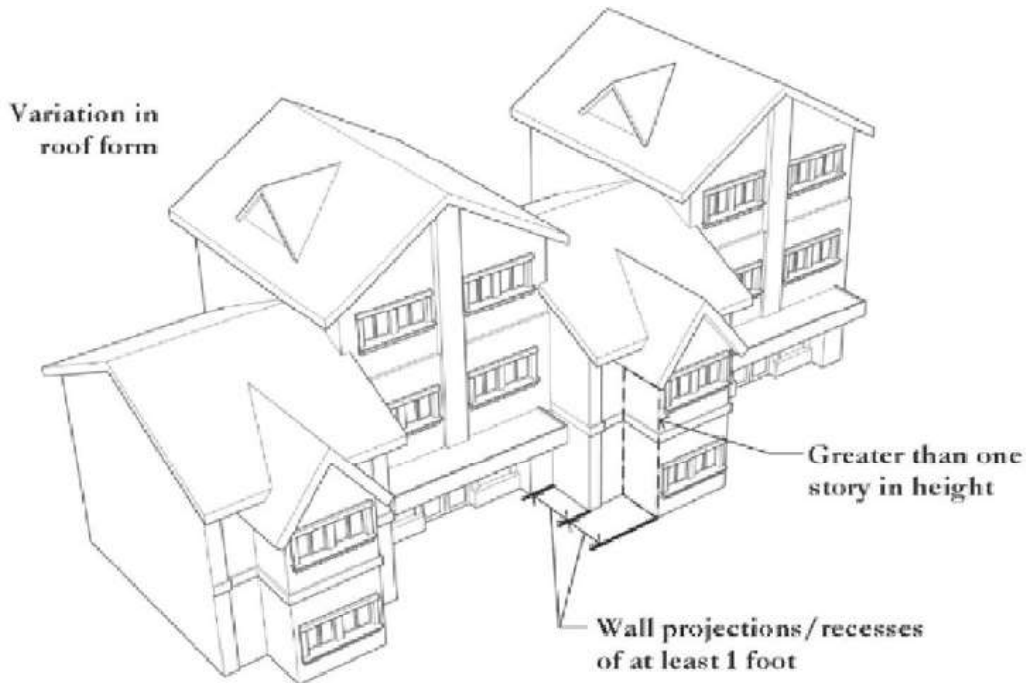
(b) The rule to measure this architectural feature is provided in division (B)(1) below.

(3) *Horizontal articulation.*

(a) At least 25% of the linear frontage of the ground floor street-facing building wall has a projection or recess of at least one-foot deep. If located on a building with two or more stories, the articulated elements must be greater than one story in height. See Figure 312-3. Horizontal articulation may also include an articulated corner tower, angled facet or other special articulated corner treatments.

(b) The rule to measure this architectural feature is provided in division (B)(1) below.

Figure 312-3: Roof Form Variation and Horizontal Articulation



(4) *Cantilevered upper story.*

(a) For at least 25% of the linear frontage of the street-facing building wall, an upper story building wall projects at least two feet from the ground floor building wall.

(b) Traditional designs must include decorative features such as knee braces. Contemporary, minimalistic designs do not require decorative features.

(c) The rule to measure this architectural feature is provided in division (B)(1) below.

(5) *Balconies.* At least 20% of the linear frontage of the street-facing building wall contains at least one above-ground balcony.

(a) Each balcony must be either:

1. A traditional balcony that is at least four feet in depth; or
2. A Juliet balcony that is served by French doors and that includes metal or glass railings that allow unobstructed visibility.

(b) The rule to measure this architectural feature is provided in division (B)(1) below.

(6) *Projecting windows.*

(a) At least 25% of all windows on the street-facing building wall consist of projecting windows. The furthest extent of each projecting window must project at least one foot from the building wall. This requirement may be satisfied with bay windows, oriel windows, bow windows, canted windows and other similar designs.

(b) The rule to measure this architectural feature is provided in division (B)(1) below.

(7) *Window trim.*

(a) At least 75% of all windows on the street-facing building wall feature trim that surrounds the entire window and meets one or more of the following criteria:

1. Crown molding projects at least two inches from the building wall;

2. Trim material visually contrasts with the building wall; and
3. Sill projects at least two inches from the building wall.

(b) Trim material must be constructed of materials such as wood, fiber cement board, brick, stone, stucco, concrete or cellular PVC. Foam does not meet this requirement.

(c) The rule to measure this architectural feature is provided in division (B)(1) below.

(8) *Recessed windows.*

(a) At least 75% of all windows on the street-facing building wall are recessed at least four inches from the building wall.

(b) The rule to measure this architectural feature is provided in division (B)(1) below.

(9) *Rigid window coverings.*

(a) At least 50% of all windows on the street-facing building wall have rigid window coverings, such as rigid awnings, shade devices, above-window cornices or crowns, projecting arches or other window coverings of equivalent quality. Flexible materials such as fabric and vinyl do not satisfy this requirement.

(b) The rule to measure this architectural feature is provided in division (B)(1) below.

(10) *Masonry façade.*

(a) At least 40% of the street-facing building wall surface area is covered in masonry such as brick, stone, terrazzo, ceramic tile, or comparable material. Exposed cinder block does not satisfy this requirement.

(b) The rule to measure this architectural feature is provided in division (B)(1) below.

(11) *Wood façade.*

(a) At least 40% of the street-facing building wall surface area is covered in high-grade wood that is finished with a clear sealer or semi-transparent stain. Wood may not be painted or finished with an opaque stain. Faux wood products made from synthetic materials, including vinyl, cellular PVC and fiber cement do not satisfy this requirement.

(b) The rule to measure this architectural feature is provided in division (B)(1) below.

(12) *Glass façade.*

(a) At least 40% of the street-facing building wall surface area is covered in glass, including window glass.

(b) The rule to measure this architectural feature is provided in division (B)(1) below.

(13) *Cladding materials façade.*

(a) At least 40% of the street-facing building wall surface area is covered in, concrete tile, stone, ceramic, high-grade metal or comparable material.

(b) The rule to measure this architectural feature is provided in division (B)(1) below.

(14) *Living wall.*

(a) At least 20% of the street-facing building wall surface area is covered in a directly integrated living wall or building integrated vegetation. Plans submitted for living walls and building integrated vegetation must include a long-term maintenance plan that includes documentable evidence of on-going maintenance and operation strategies to ensure the long-term viability of the wall. Living walls and building integrated vegetation must include an integrated water delivery system.

(b) The rule to measure this architectural feature is provided in division (B)(1) below.

(15) *Combination of materials facade.*

(a) At least 40% of the street-facing building wall surface area is covered in a combination of two or more of the following materials: masonry; stone; high-grade wood; glass; metal/ceramic cladding; or living wall. Materials used to satisfy this requirement must comply with requirements in divisions(A)(9) through (A)(13) above (excluding wall area percentage requirements in these paragraphs).

(b) The combination of materials facade option may not be double-counted with any of the other façade materials options (i.e. masonry facade, glass facade, cladding facade or living wall) to satisfy the architectural features requirement. For example, a building wall that is 40% masonry and 10% wood siding can qualify for combination of materials facade, but cannot simultaneously qualify for masonry facade. However, a wall that is 20% masonry, 20% living wall and 40% glass may satisfy two architectural features requirements, with the masonry and living wall satisfying the combination of materials option and the glass satisfying the glass facade option.

(3) The rule to measure this architectural feature is provided in division (B)(1) below.

(B) *Rules for measurement of architectural features.* The architectural features in division (A) above (Options for

Architectural Features) are measured as follows.

(1) *Percent of linear frontage.*

(a) Percent of linear frontage is used to measure roof form variation, roof detail and ornamentation, horizontal articulation, cantilevered upper story and balconies.

(b) Percent of linear frontage is calculated by measuring the total horizontal length of the frontage of a building's street-facing wall relative to the total horizontal length of the architectural feature to be evaluated. For example, a three-story building with a street-facing wall that is 100 feet long has a total horizontal length of 100 feet. If that building has a cantilevered section on the second floor that has a 25-foot horizontal length, then the cantilevered section constitutes 25% of the street-facing wall's linear frontage (25 divided by 100). In this case, the building meets the criteria for cantilevered upper story. Alternatively, if a two-story building with a 50-foot total horizontal length had two separate 20-foot long balconies on the second floor, then 80% of the street-facing wall's linear frontage contains balconies (40 divided by 50). In this case, the building exceeds the criteria for balconies.

(2) *Percent of all windows.*

(a) Percent of all windows is used to measure projecting windows, recessed or protruding windows, window trim and rigid window coverings.

(b) Percent of all windows is calculated by counting the total number of windows on the building's street-facing wall and then dividing that number into the architectural feature to be evaluated. For example, a building wall that contains 100 windows, 75 of which are recessed from the building wall, has 75% recessed windows. In this case, the building meets the criteria for recessed windows.

(3) *Percent of street-facing building wall surface area.*

(a) Percent of street-facing building wall surface area is used to measure masonry façade, wood façade, living wall, glass façade, cladding materials façade and combination of materials façade.

(b) Percent of street-facing building wall surface area is the total area of the building's street-facing wall relative to the total surface area of the architectural feature to be evaluated. The building wall area measurement includes doors, windows and other openings within the wall area. For example, a building wall that is 100 feet long and 30 feet high has a total surface area of 3,000 square feet (including the wall's windows and doors). If that same wall includes a section of exposed brick that is 50 feet long and 30 feet high, then 50% of the total wall surface area has a masonry facade. The 50% calculation may include windows and doors inset into brick wall material. In this example, the building meets the criteria for masonry facade. A street-facing building wall that is at least 80% glass may double-qualify as satisfying two architectural features. No other materials (such as masonry, green wall or cladding) may double-qualify as satisfying two architectural features.

(Ord. 885-C.S., passed 5-21-19; Am. Ord. 902 C.-S., passed 8-18-20; Am. Ord. 938-C.S., passed 11-1-22)

§ 155.312.060 BLANK WALLS.

(A) *Maximum blank wall area.* The area of a blank building wall fronting a public street may not exceed a square area where the height and width are both ten feet. See Figure 312-4.

(B) *Breaks in blank walls.*

(1) A break in a blank building wall may be provided by any of the following:

(a) Doors, windows, or other building openings;

(b) Building projections or recesses, doorway and window trim, or other details that provide architectural articulation and design interest;

(c) Varying wall planes where the wall plane projects or is recessed at least six inches;

(d) Non-fabric awnings, canopies or arcades;

(e) Substantial variations in building material. For example, adding brick or stone veneer to a stucco building or changing from vertically-oriented board and baton style siding to horizontally-oriented lap siding; and

(f) A living wall as defined in §155.312.050.

(2) The following do not qualify as a break in blank wall:

(a) Variation in exterior building wall color;

(b) Vegetation or landscaping;

(c) Mechanical appurtenances such as water heaters, vents, or utility meters;

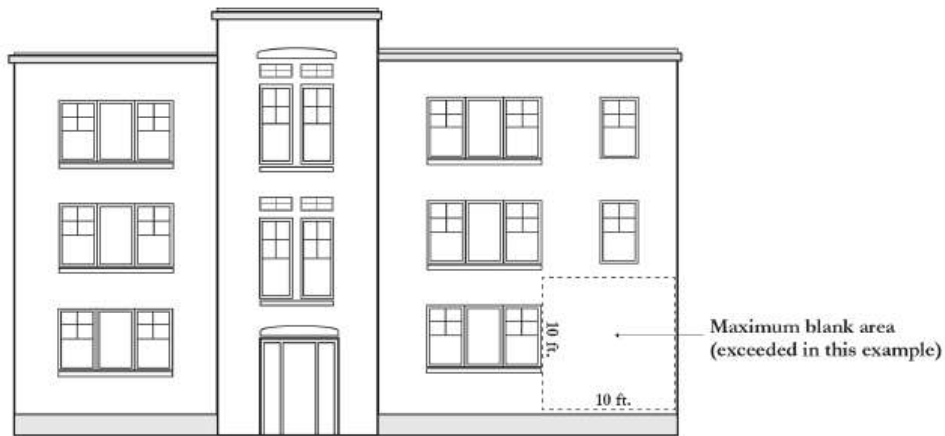
(d) Gutters;

(e) Signage; and

(f) Murals.

Figure 312-4: Blank Walls

Figure 312-4: Blank Walls



(Ord. 885-C.S., passed 5-21-19; Am. Ord. 951-C.S., passed 10-17-23)

§ 155.312.070 GARAGE DOORS IN RESIDENTIAL ZONING DISTRICTS.

In residential zoning districts, garage doors may occupy no more than 40% of a building's street frontage. See Figure 312-5.

Figure 312-5: Maximum Garage Door Width



(Ord. 885-C.S., passed 5-21-19)

§ 155.312.080 MECHANICAL EQUIPMENT.

Roof- and ground-mounted mechanical equipment shall be screened from view from public rights-of-way through the use of landscaping, building design and/or other types of screening. Examples of screening include parapet walls for roof-

mounted equipment, and hedge planting for ground-mounted equipment. The use of barbed wire, chain-link, or razor wire for screening is not permitted.

(Ord. 951-C.S., passed 10-17-23)

Crosswalk of changes

Summary of Changes to Section 155.312 (Building Design Standards)

Topic	Proposed Numeration	Existing Numeration	Overall Change
Purpose	155.312.010	155.312.010	Rewritten/Expanded. The “purpose” subsection is proposed to be expanded from a single statement on what the section covers to three statements that clarify the rationale (the why) for the standards. The first statement adapts the existing purpose language for discretionary design review in Subsection 155.412.040.
Applicability – When Required	155.312.020.A.1	155.312.020.A	Expanded. Currently, the design standards section applies in the residential and mixed-use zoning districts to all new primary buildings and additions adding 30% or more to the existing floor area of a primary building. As proposed to be modified, the design standards section will continue to apply only in the residential and mixed-use zoning districts, but will now apply to any new building 500 square feet or larger in floor area (no requirement for the building to be a primary building) and to any exterior modifications or additions to a public-facing building façade (no 30% addition threshold).
Applicability – Exempt Projects	155.312.020.A.2	155.312.020.B	No Substantive Change. Under both the existing and proposed regulations, the following projects are exempt from design standards: single-family homes, accessory dwelling units, health-care-related uses in the Hospital Medical District, and public infrastructure and public utility uses.
Applicability – Public/Street Facing Building Facades	155.312.020.A.1.b and 2.c	155.312.020.C	Expanded. The existing design standards apply only to <u>street-facing</u> building façades. The proposed update expands applicability to <u>public-facing</u> building façades, supported by a new definition in Section 155.508 (Defined Terms), to regulate building façades adjacent to streets, public trails (e.g., the Eureka Boardwalk), and public open space (e.g., Coast Guard Plaza). Façades facing alleys remain excluded.
Applicability – Nonconformin	155.312.020.A.3	No equivalent	No Substantive Change. This new Paragraph 3 under Division A clarifies that an existing building that does not conform to the standards in this section may be modified provided the project does not increase or exacerbate the nonconformity.

Topic	Proposed Numeration	Existing Numeration	Overall Change
g Existing Buildings			This provision exists in the current code [under 155.424.040 (Nonconforming Buildings)] but was not previously cross-referenced in the design standards section.
Exceptions and Deviations	155.312.020.B	No equivalent	Expanded. A new Division B is added to identify the available mechanisms for deviating from one or more objective design standards. While these deviation pathways are not currently listed within the design standards section, all but one already exists elsewhere in the Zoning Code [under 155.344 (Density Bonus) and 155.412 (Specific Permits and Approvals)]. The one new addition is Discretionary Design Review, which is repurposed as an optional mechanism for projects requesting deviations from the objective design standards in Section 155.312. Approval of Discretionary Design Review would be based on whether: (1) the requested deviation is necessary due to unique site conditions and/or to achieve a superior project design; and (2) the project meets the applicable intent statement(s) in 155.312 for the standard from which the deviation is requested.
Neighborhood Information Meeting	155.312.020.C	No equivalent	New. The proposed update introduces a neighborhood information meeting requirement for projects with 20,000 square feet or more of new floor area that are subject to Section 155.312 and would otherwise proceed without a noticed public hearing. The meeting would occur prior to application submittal, to ensure timely notice and provide an opportunity for direct dialogue between neighbors and the applicant on any project-related topics (not limited to aesthetics). For context, the new mixed-use building constructed at 2 nd and E is 22,044 square feet in floor area (triggering a neighborhood meeting under the proposed code update), and the new mixed-building under construction at 3 rd and G will be 18,002 square feet (not triggering a meeting).
Building Massing	155.312.030	No equivalent	New. A maximum building length of 300 feet and a required major massing break every 150 feet of building length are proposed to be added to the code to ensure new development aligns with the existing scale and development pattern of Eureka. For context, a typical downtown block length is approximately 250 feet, with 20-foot-wide alleys dividing blocks east-west into two 115-foot halves. Very few existing buildings in Eureka exceed 300 feet in length (the Target building is slightly longer). While Eureka’s historic buildings often do not feature major massing breaks, staff did

Topic	Proposed Numeration	Existing Numeration	Overall Change
			not identify any historic building longer than 150 feet in length (i.e., that would trigger a major massing break if developed under the proposed standards).
Building Entrances – Intent	155.312.040.A	No equivalent	New. Intent statements are added to the Building Entrances standards subsection to clearly articulate the purpose of the standards. Where an applicant requests a deviation from one or more of these standards, the intent statements will serve as part of the basis for discretionary design review approval.
Building Entrances – Primary Entrance Location	155.312.040.B.1	155.312.040.A and B	No Substantive Change. Existing requirements for primary entrance orientation—including the distinction between buildings with a single primary entrance and those with multiple entrances, along with the associated figures are retained. The reference is updated to public frontage (from street frontage).
Building Entrances – Minimum Number	155.312.040.B.2	No equivalent	New. This new standard establishes a minimum number of ground-floor entrances along public-facing building façades greater than 50 feet in length, with maximum spacing between entrances that varies by building type.
Building Entrances – Exceptions	155.312.040.B.3	155.312.040.D	No Substantive Change to Language; Expanded Applicability. The exceptions language is carried forward from the existing code. The applicability of the Administrative Adjustment is expanded to also apply to the new minimum number of entrances standard.
Building Entrances – Design	155.312.040.B.4	155.312.040.C	Expanded. The proposed update retains the intent of emphasizing primary entrances by requiring use of one or more of various design feature options, but the standards are expanded to include more detailed, objective criteria such as minimum dimensions for qualifying features. The standards are reorganized (currently there are separate standards for: 1. residential and 2. non-residential projects; under the proposed code update, there would be separate standards for: 1. entrances to individual residential units and 2. shared and non-residential entrances). For shared and non-residential entrances, the proposed update includes a new requirement for a weather protection feature, distinct from the requirement for a design element that creates visual prominence.

Topic	Proposed Numeration	Existing Numeration	Overall Change
Façade and Roof Design – Intent	155.312.050.A	No equivalent	New. Intent statements are added to the Façade and Roof Design standards subsection to clearly articulate the purpose of the standards. Where an applicant requests a deviation from one or more of these standards, the intent statements would serve as part of the basis for discretionary design review approval.
Façade and Roof Design – Blank Walls	155.312.050.B.1	155.312.060	No Substantive Change. The blank wall standards are relocated but are substantively unchanged.
Façade and Roof Design – Equivalent Degree	155.312.050.B.2	155.312.020.D	No Substantive Change. The requirement that buildings with multiple public frontages provide an equivalent quality of materials and degree of detailing on each frontage is relocated but otherwise unchanged; references are updated from street frontage to public frontage.
Façade and Roof Design – Garages Serving Individual Dwelling Units	155.312.050.B.3	155.312.070	Expanded. The proposed update retains the existing limitation that garage doors may occupy no more than 40 percent of a building’s frontage, but expands its applicability to garages serving individual dwelling units in both residential and mixed-use zoning districts (currently the standard only applies in residential districts). The update adds a set of objective design standards for front-loaded garages address. This includes a dimensions and spacing, entry relationship, and visual prominence. This includes a requirement to incorporate one or more design features from a list of options to reduce visual prominence, supported by an additional figure.
Façade and Roof Design – Parking Garages	155.312.050.B.4	No equivalent	New. The proposed update introduces a new set of design standards for parking garages, whether stand-alone or incorporated into a building. The standards address screening, entrance width limits, pedestrian access requirements, and treatment of partially sub-grade parking.
Façade and Roof Design – Ground Floor Transparency	155.312.050.B.5	155.208.040.E	Expanded. Under the proposed update, the existing minimum 65% ground-floor transparency requirement for non-residential, ground-floor, street-facing uses, currently located in 155.208 (Mixed-Use Zoning Districts) and applicable only to designated Pedestrian-Focused Frontages, is relocated to 155.312 and expanded to apply to all public-facing, non-residential, ground-floor building façades in mixed-use and residential zoning districts. In addition, the proposed update adds a new minimum 20% ground-floor transparency requirement for public-facing residential

Topic	Proposed Numeration	Existing Numeration	Overall Change
			building facades, with an associated new figure. The existing Administrative Adjustment provision to allow deviations from ground-floor transparency requirements is retained and expanded to apply to both the non-residential and new residential standards.
Façade and Roof Design – Corner Buildings	155.312.050.B.6	No equivalent	New. The proposed update introduces a new “Corner Buildings” section requiring buildings at street intersections to incorporate at least one design strategy from a list of options to emphasize the corner and provide visual interest.
Façade and Roof Design – Ground Floor Ceiling Height	155.312.050.B.7	155.208.040.C	Expanded. Under the proposed update, the existing minimum 12-foot ceiling height standard for street-facing, non-residential, ground floors, currently located in 155.208 (Mixed-Use Zoning Districts) and applicable only to designated Pedestrian-Focused Frontages, is relocated to 155.312 and expanded to apply to all public-facing, non-residential ground floors in mixed-use and residential zoning districts.
Façade and Roof Design – Façade Articulation; Roof Design	155.312.050.B.8 and 9	155.312.050.A	Expanded. Under the current code, projects must incorporate at least two features from a single list of architectural feature options that includes both façade features (like windows, balconies, and siding materials) and roof features (like roof form variation and detailing). The proposed update separates this list into two lists, one for façade articulation and one for roof design, and requires projects to incorporate at least two façade articulation features and one roof design feature. <u>Façade Articulation Options:</u> Most façade articulation options are carried forward from the existing Architectural Features list. Options carried forward with no substantive change include: balconies; projecting windows; recessed windows; rigid window coverings; wood, masonry, or glass material facades; and living wall. Options carried forward with substantive changes include: building wall modulation (currently called “horizontal articulation” and measured differently); window trim (a minimum width and projection are added by the code update); and varied materials (currently called “combination of materials façade” and measured differently). New options include: shutters; window variation; ground level porches and patios; datum lines; and rounded corner treatment. Cladding material façade was removed as an option.

Topic	Proposed Numeration	Existing Numeration	Overall Change
			<p><u>Roof Design Options</u>: Most of the proposed roof design options are carried forward from the existing Architectural Features list (currently under the options Roof Form Variation, Roof Detail and Ornamentation, and Horizontal Articulation), but are reorganized into a standalone roof design menu. Options such as varied roof pitch and type, changes in roof or façade height, gables, dormers, parapets, cornice, and overhanging eaves are retained from the existing code with clarifications to measurement and eligibility. Green roofs/roof landscaping and roof decks are proposed as new options.</p>
Façade and Roof Design – Windows	155.312.050.B.10	No equivalent	<p>New. Under the current code, window trim is included as one optional architectural feature that may be selected from a broader menu of façade and roof features. The proposed update retains window trim as an optional façade articulation feature an applicant can receive credit for, but also adds new baseline, non-optional window design standards. These minimum requirements are intentionally less stringent than the optional window trim façade articulation standard (e.g., minimum 1.5-inch trim width vs. minimum 3.5-inch trim width).</p>
Façade and Roof Design – Exterior Materials	155.312.050.B.11	155.312.030	<p>Expanded. Existing standards addressing prohibited materials, board-and-batten construction, and stucco are carried forward with no substantive change, except that references to street-facing building walls are updated to public-facing building walls and the board-and-batten standard is no longer limited to vertically-oriented applications. While the existing code generally requires exterior materials to “allow for long-term durability and appearance,” the proposed update clarifies this expectation through new, objective material durability standards addressing minimum material lifespan, rainwater protection, and protection of exterior timber and metal materials.</p>
Façade and Roof Design – Rules of Measurement	155.312.050.C	155.312.050.A	<p>No Substantive Change. No substantive changes are being proposed to the rules for measuring percent of linear frontage, percent of windows, and percent of building wall.</p>