

# SOCIAL SERVICES BUILDING ADA MODIFICATIONS PHASE II

## 929 KOSTER STREET, EUREKA, CA 95501

**PROJECT MANAGEMENT**  
**ALAMEIDA ARCHITECTURE**  
 CONSTRUCTION MANAGEMENT  
 555 S. MAIN STREET, SUITE 2  
 SEBASTOPOL, CA 95472  
 (707) 824-1219  
 WWW.ALAMEIDA.COM



**PROJECT**  
**SOCIAL SERVICES BUILDING ADA MODIFICATIONS PHASE II**  
 929 KOSTER STREET, EUREKA CA 95501

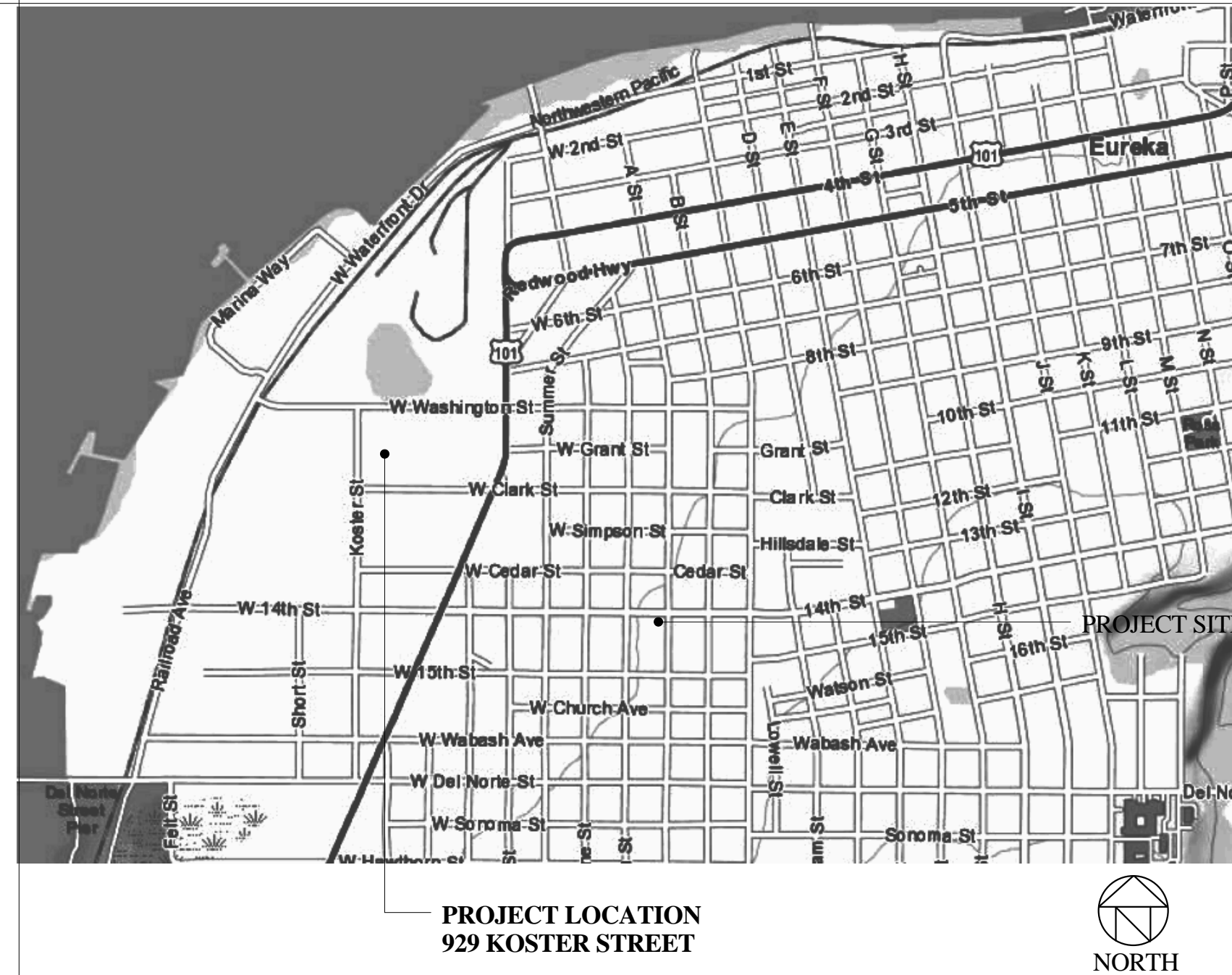
AERIAL PHOTO / AREA OF WORK



AREA OF WORK (WASHINGTON STREET IMPROVEMENTS)

AREA OF WORK

VICINITY MAP



PROJECT LOCATION  
 929 KOSTER STREET



PROJECT DESCRIPTION

SCOPE INCLUDES:  
 BASE BID: REMOVAL AND REPLACEMENT OF PATH OF TRAVEL ELEMENTS INCLUDING CONCRETE WALKS, RAMPS AND EXTENSION OF RAILINGS. ADDITION OF DIRECTION AND ENTRY SIGNS.

DEFERRED APPROVAL

1. NONE

APPLICABLE CODES

**PARTIAL LIST OF APPLICABLE CODES**  
 2019 California Administrative Code (CAC), Part 1, Title 24 CCR\* 2019 California Building Code (CBC), Part 2, Title 24 CCR (2018 International Building Code, Vol. 1 & 2, and 2019 California amendments  
 2019 California Electrical Code (CEC), Part 3, Title 24 CCR  
 (2017 National Electrical Code and 2019 California Amendments)  
 2019 California Mechanical Code (CMC), Part 4, Title 24 CCR  
 (2018 IAPMO Uniform Mechanical Code and 2019 California amendments)  
 2019 California Plumbing Code (CPC), Part 5, Title 24 CCR  
 (2018 IAPMO Uniform Plumbing Code and 2019 California amendments)  
 2019 California Energy Code (CEC), Part 6, Title 24 CCR  
 2019 California Fire Code (CFC), Part 9, Title 24 CCR  
 (2018 International Fire Code and 2019 California Amendments)  
 2019 California Existing Building Code (CEBC), Part 10, Title 24 CCR  
 (2018 International Existing Building Code and 2019 California Amendments)  
 2019 California Green Building Standards Code (CALGreen), Part 11, Title 24 CCR  
 2019 California Referenced Standards Code, Part 12, Title 24 CCR  
 Title 19 CCR, Public Safety, State Fire Marshal Regulations  
 2016 ASME A17.1/CSA B44-13 Safety Code for Elevators and Escalators

**PARTIAL LIST OF APPLICABLE STANDARDS**

2010	ADA Standards for Accessibility	
NFPA 13	Standard for the Installation of Sprinkler Systems (CA amended)	2016 Edition
NFPA 14	Standard for the Installation of Standpipe and Hose Systems	2016 Edition
NFPA 17	Standard for Dry Chemical Extinguishing Systems	2016 Edition
NFPA 17A	Standard for Wet Chemical Extinguishing Systems	2016 Edition
NFPA 20	Standard for the Installation of Stationary Pumps for Fire Protection	2016 Edition
NFPA 22	Standard for Water Tanks for Private Fire Protection	2016 Edition
NFPA 24	Standard for the Installation of Private Fire Service Mains and Their Appurtenances	2019 Edition
NFPA 72	National Fire Alarm and Signaling Code (CA amended);	2019 Edition
NFPA 80	Standard for Fire Doors and Other Opening Protectives	2019 Edition
NFPA 2001	Standard on Clean Agent Fire Extinguishing Systems	2018 Edition
UL 300	Standard for Fire Testing of Fire Extinguishing Systems for Protection of Commercial Cooking Equipment	2019 (R2010)
UL 464	Audible Signaling Devices for Fire Alarm and Signaling Systems, Including Accessories	2016 Edition
UL 521	Standard for Heat Detectors for Fire Protective Signaling Systems	1999 Edition
UL 1971	Standard for Signaling Devices for the Hearing Impaired	2002 Edition
ICC 300	Standard for Bleachers, Folding and Telescopic Seating, and Grandstands	2017 Edition

For a complete list of applicable NFPA standards refer to 2016 CBC (SFM) Chapter 35 and California Fire Code Chapter 80.  
 See California Building Code, Chapter 35, for State of California amendments to the NFPA Standards.

GENERAL NOTES

- ALL WORK CONFORM TO APPLICABLE CODES, REGULATIONS, LAWS AND ORDINANCES AS REQUIRED AND BY THE CODES AND REGULATIONS LISTED IN THESE CONSTRUCTION DOCUMENTS AND MANUALS.
- VERIFY ALL DIMENSIONS IN THE FIELD. NOTIFY THE ARCHITECT OF ANY DISCREPANCY AND OBTAIN CLARIFICATION BEFORE PROCEEDING WITH THE AFFECTED WORK. FOLLOW NUMERICAL DIMENSIONS; DO NOT SCALE. USE DATUM POINTS TO START DIMENSION STRING LAYOUT.
- FLOOR PLAN DIMENSIONS SHOWN ARE TO FACE OF FINISH OR CENTERLINE OF COLUMNS, UNLESS OTHERWISE NOTED. SEE SYMBOLS.
- BEFORE BEGINNING WORK AT THE SITE, WHERE POSSIBLE AND THROUGHOUT THE COURSE OF WORK, INSPECT AND VERIFY THE LOCATION AND CONDITION OF ITEMS AFFECTED BY THE WORK UNDER THIS CONTRACT AND REPORT DISCREPANCIES TO ARCHITECT BEFORE DOING THE WORK RELATED TO THAT BEING INSPECTED.
- THE ARCHITECTURAL DRAWINGS SHOW PRINCIPAL AREAS WHERE WORK MUST BE ACCOMPLISHED UNDER THIS CONTRACT. INCIDENTAL WORK MAY ALSO BE NECESSARY IN AREAS NOT SHOWN ON THE ARCHITECTURAL DRAWINGS DUE TO CHANGES AFFECTING EXISTING MECHANICAL, ELECTRICAL PLUMBING OR OTHER SYSTEMS. SUCH INCIDENTAL WORK IS ALSO PART OF THIS CONTRACT.
- DO NOT DRILL OR CUT EXISTING JOISTS, BEAMS, COLUMNS OR OTHER STRUCTURAL ELEMENTS UNLESS SPECIFICALLY INDICATED.
- PREPARE, SUBMIT AND RECEIVE APPROVAL OF SLEEVE AND OPENING DRAWINGS BEFORE LOCATING SLEEVES AND OPENINGS IN FIRE-RATED CONSTRUCTION AND BEFORE CUTTING FIRE-RATED CONSTRUCTION.
- WHERE "MATCH EXISTING" IS INDICATED, NEW CONSTRUCTION OF FINISHES AS APPROPRIATE TO THE NOTE, SHALL MATCH ADJACENT CONSTRUCTION AND FINISHES.
- FIRE BLOCKING SHALL BE PROVIDED IN ALL CONCEALED SPACES, WALL CAVITIES INCLUDED, ACCORDING TO I.B.C. SECTION 708.2.1

DIRECTORY

OWNER

HUMBOLDT COUNTY  
 825 5TH STREET, ROOM 112  
 EUREKA, CA 95501  
 707-476-2388  
 CONTACT: TRAVIS SMITH  
 CAO PROJECT MANAGER

ARCHITECT

ALAMEIDA ARCHITECTURE  
 555 SOUTH MAIN STREET, SUITE 2  
 SEBASTOPOL, CALIFORNIA 95472  
 (707) 824-1219 FAX (707) 824-2670

DRAWING INDEX

- |       |                           |
|-------|---------------------------|
| A-0   | COVER SHEET               |
| A-0.1 | SITE PLAN - AREAS OF WORK |
| A-1   | SITE PLAN @ BLDG # 1      |
| A-2   | DETAIL PLANS @ BLDG #1    |
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| C-1   | SURVEY @ WASHINGTON ST.   |



No.	Description	Date

**COVER SHEET**

Project number	Project Number
Date	Issue Date
Drawn by	Author
Checked by	Checker
<b>A-0</b>	
Scale	12" = 1'-0"



SEE DETAIL 1/A-2.1

SEE DETAIL 1/A-1

SEE DETAIL 2/A-1

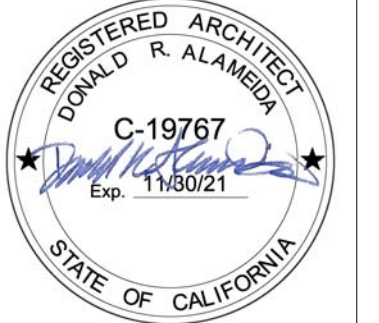
1 SITE PLAN / AERIAL PLAN  
 A-0.1 1" = 50'-0"

PROJECT MANAGEMENT  
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PROJECT  
**SOCIAL SERVICES BUILDING ADA MODIFICATIONS**  
**PHASE II**

929 KOSTER STREET, EUREKA CA 95501



No.	Description	Date

**SITE PLAN - AREAS OF WORK**

Project number Project Number  
 Date Issue Date  
 Drawn by Author  
 Checked by Checker

**A-0.1**

Scale 1" = 50'-0"





PROJECT  
SOCIAL SERVICES BUILDING ADA MODIFICATIONS  
PHASE II

929 KOSTER STREET, EUREKA CA 95501

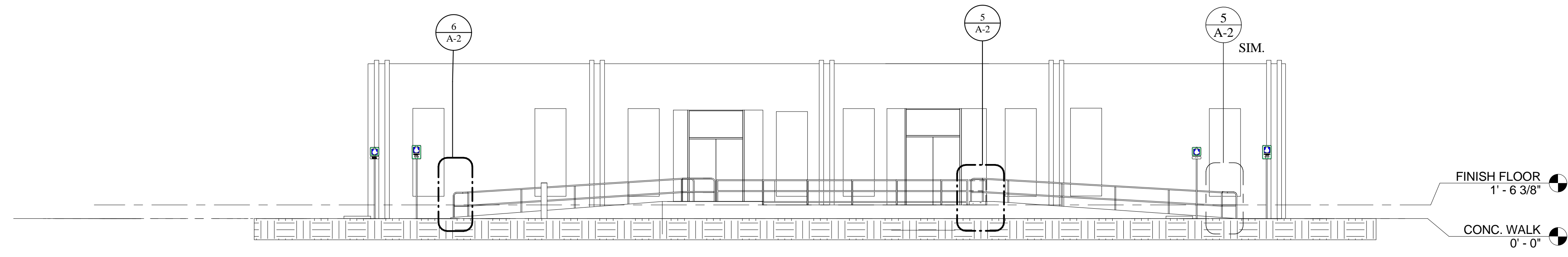


No.	Description	Date

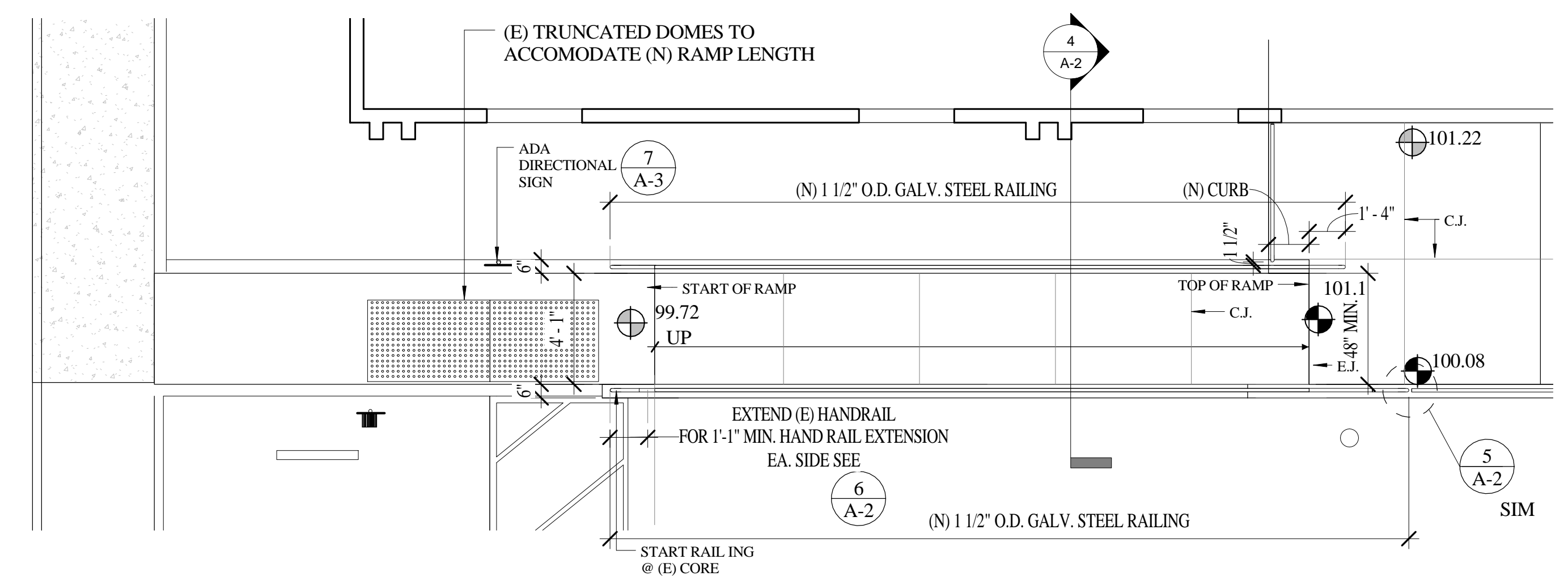
**DETAIL PLANS @ BLD'G #1**

Project number	Project Number
Date	Issue Date
Drawn by	Author
Checked by	Checker

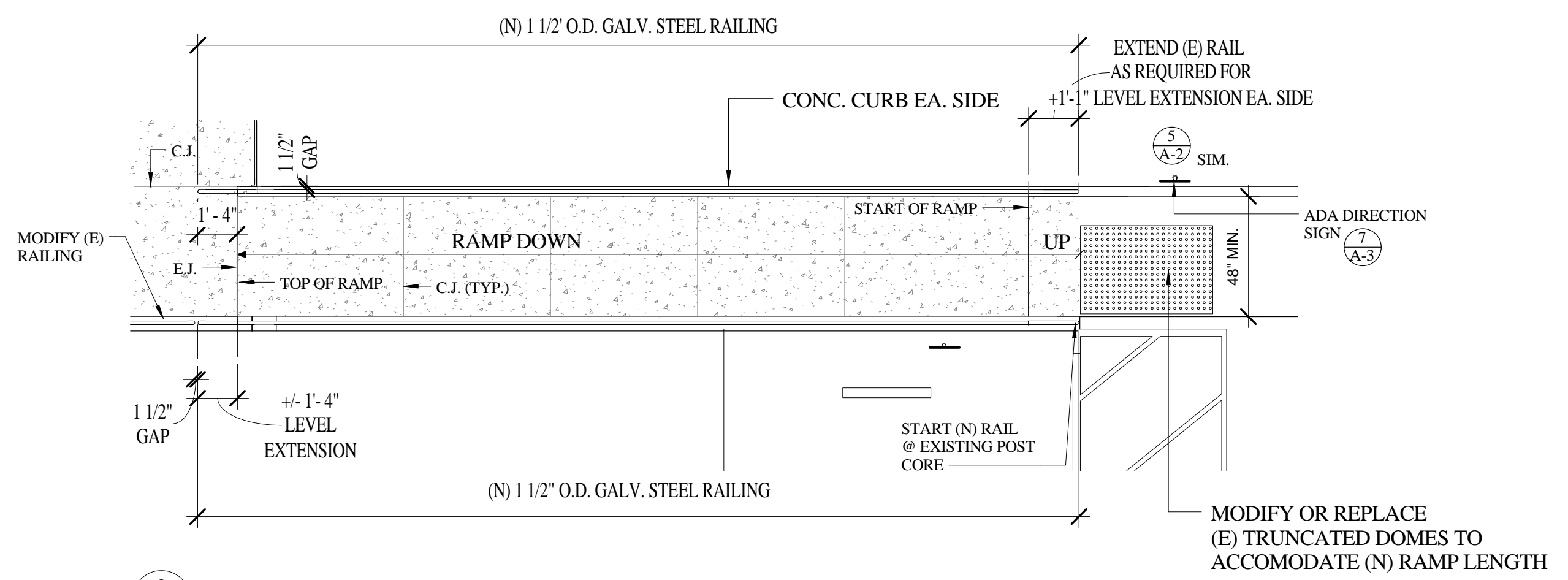
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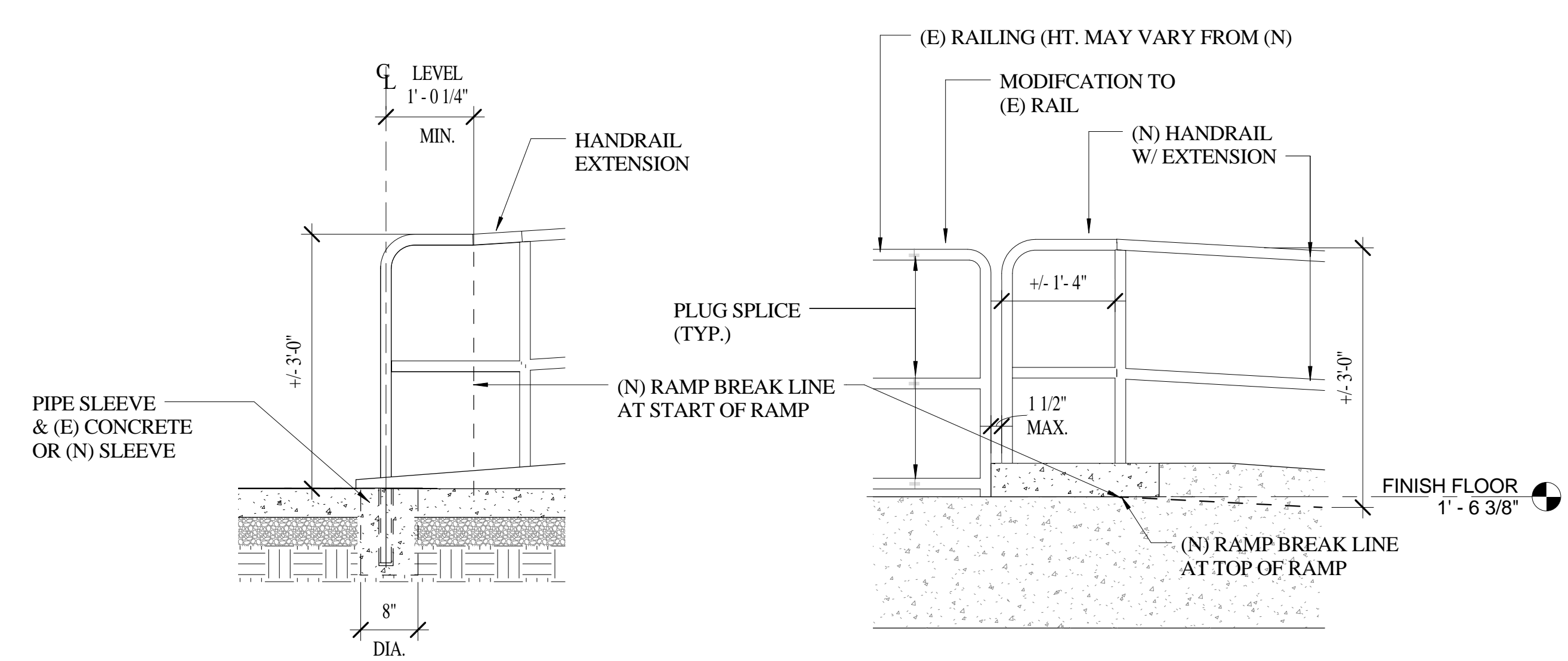
1 WEST ENTRY ELEVATION  
1/8" = 1'-0"



3 WEST ENTRY - NORTH RAMP  
1/4" = 1'-0"

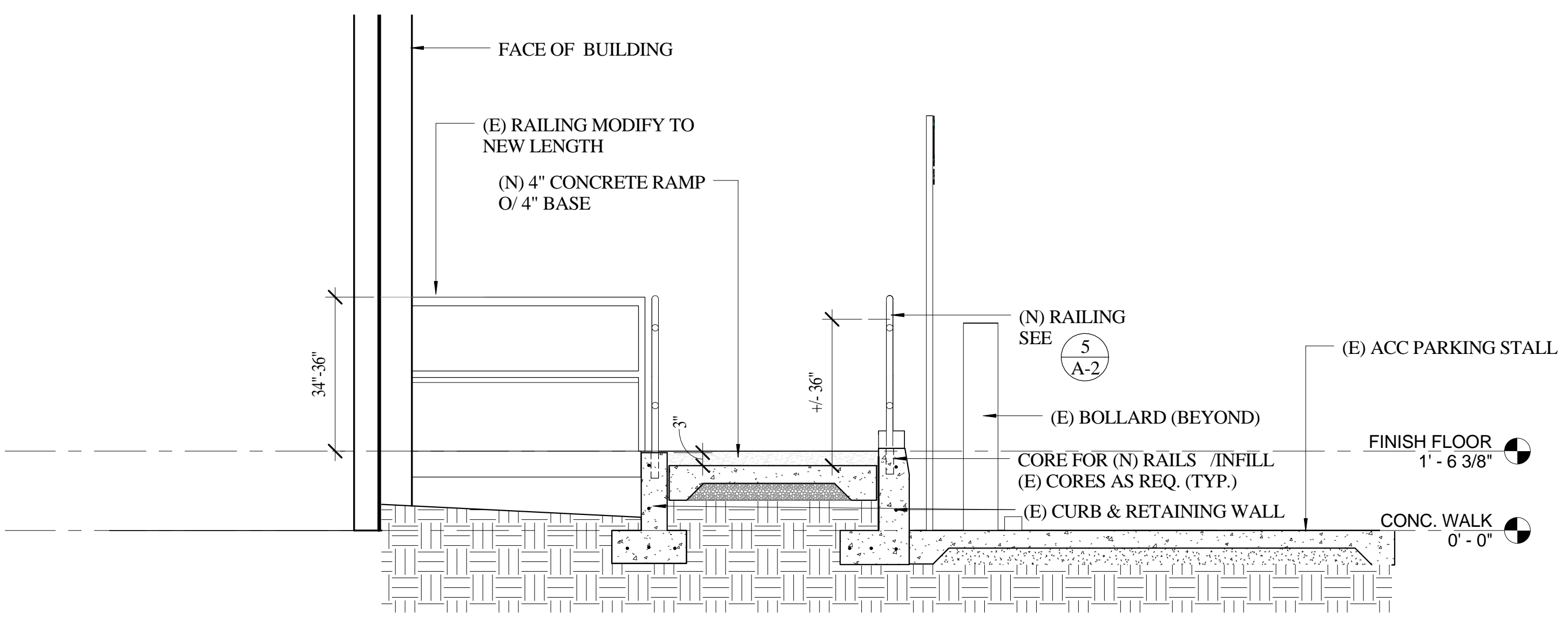


2 WEST ENTRY - SOUTH RAMP  
1/4" = 1'-0"



6 HANDRAIL EXTENSION  
MODIFICATION  
3/4" = 1'-0"

5 UPPER HANDRAIL @  
GUARDRAIL  
3/4" = 1'-0"

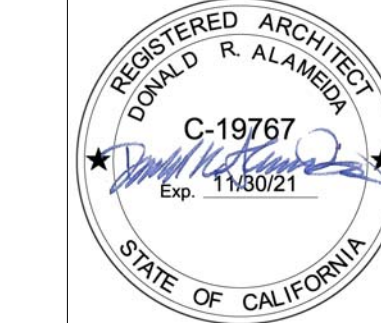


4 Section 1  
1/2" = 1'-0"



PROJECT  
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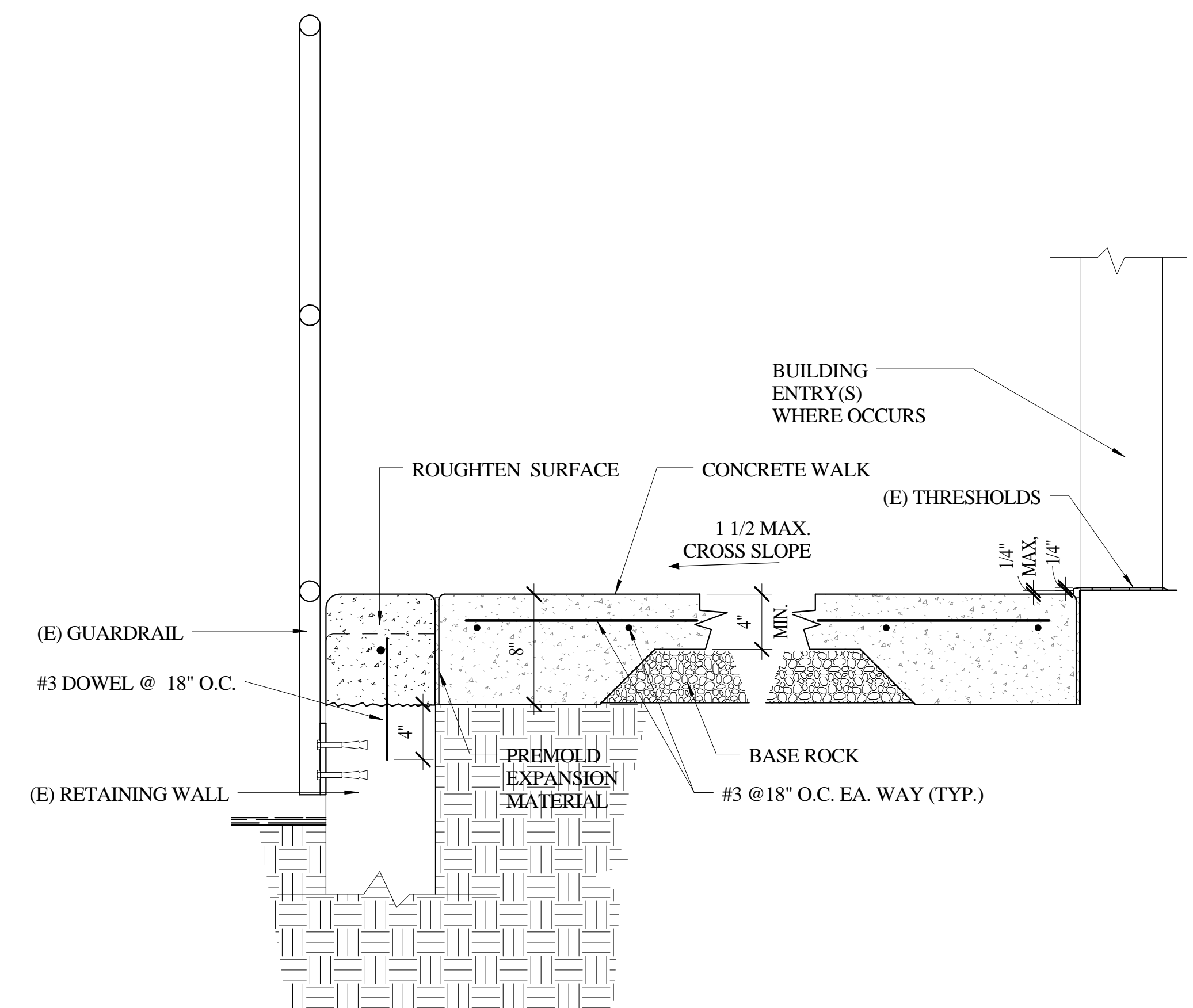
No.	Description	Date

**ENTRY @ BLD'G # 2**

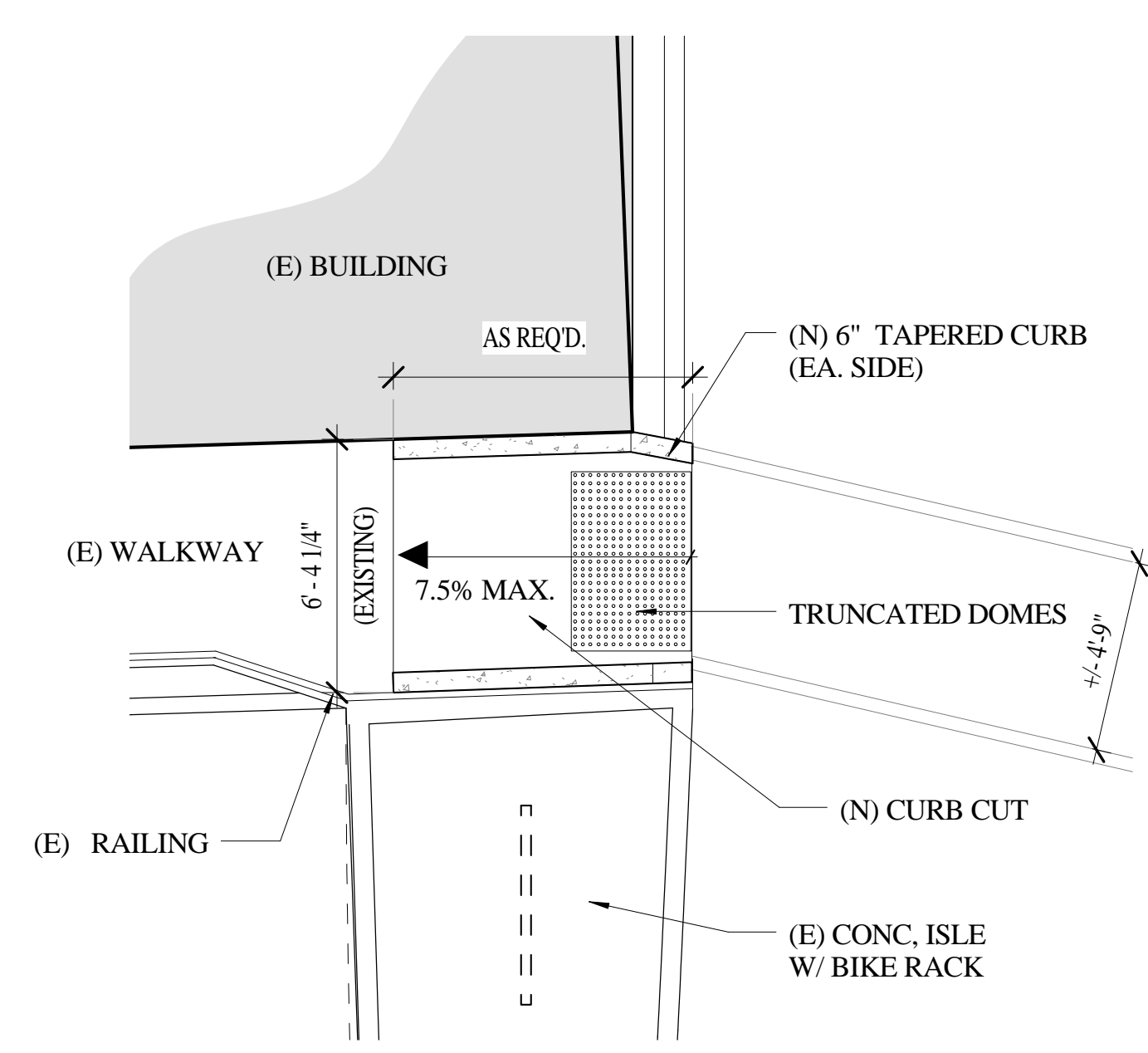
Project number	Project Number
Date	Issue Date
Drawn by	Author
Checked by	Checker

**A-2.1**

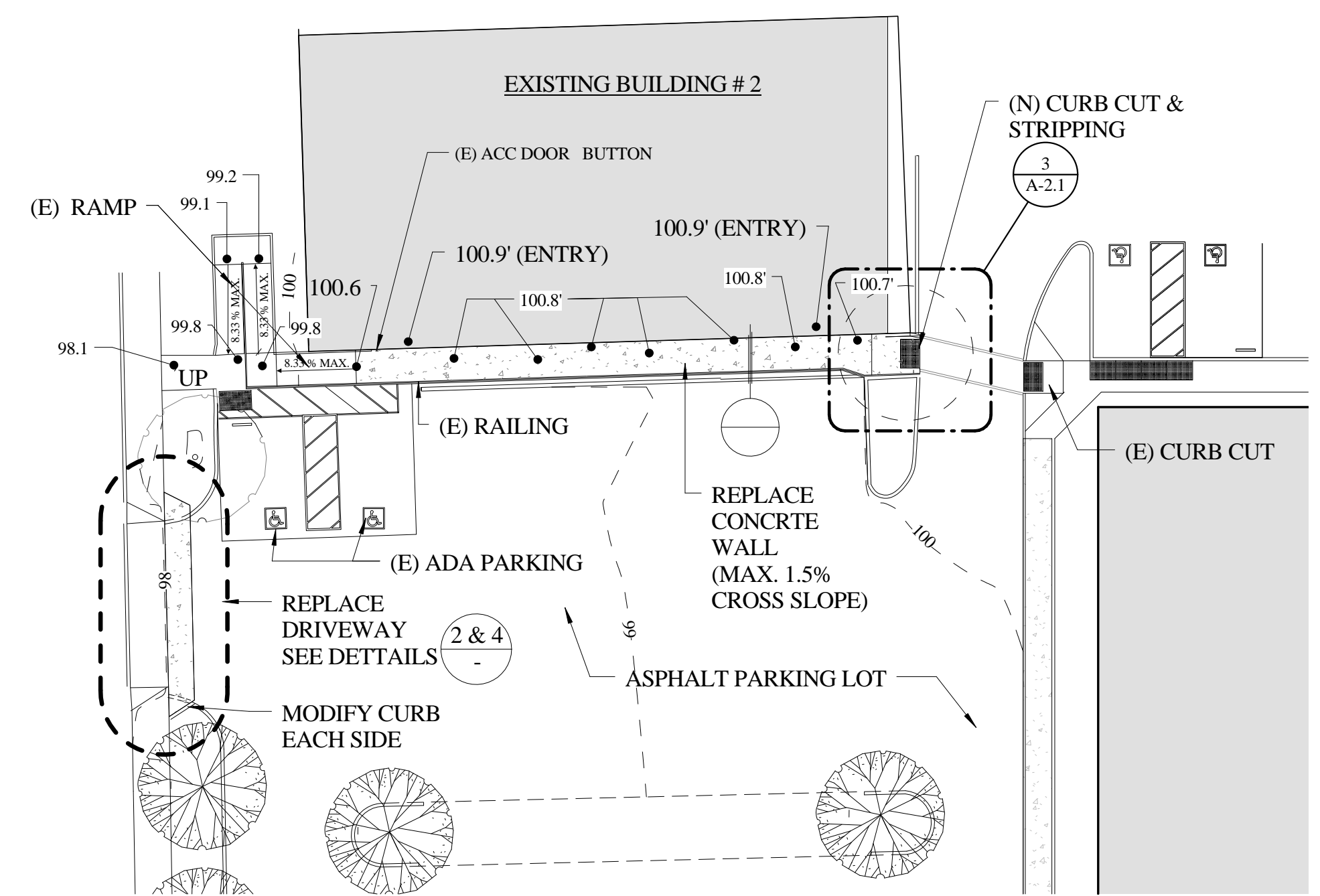
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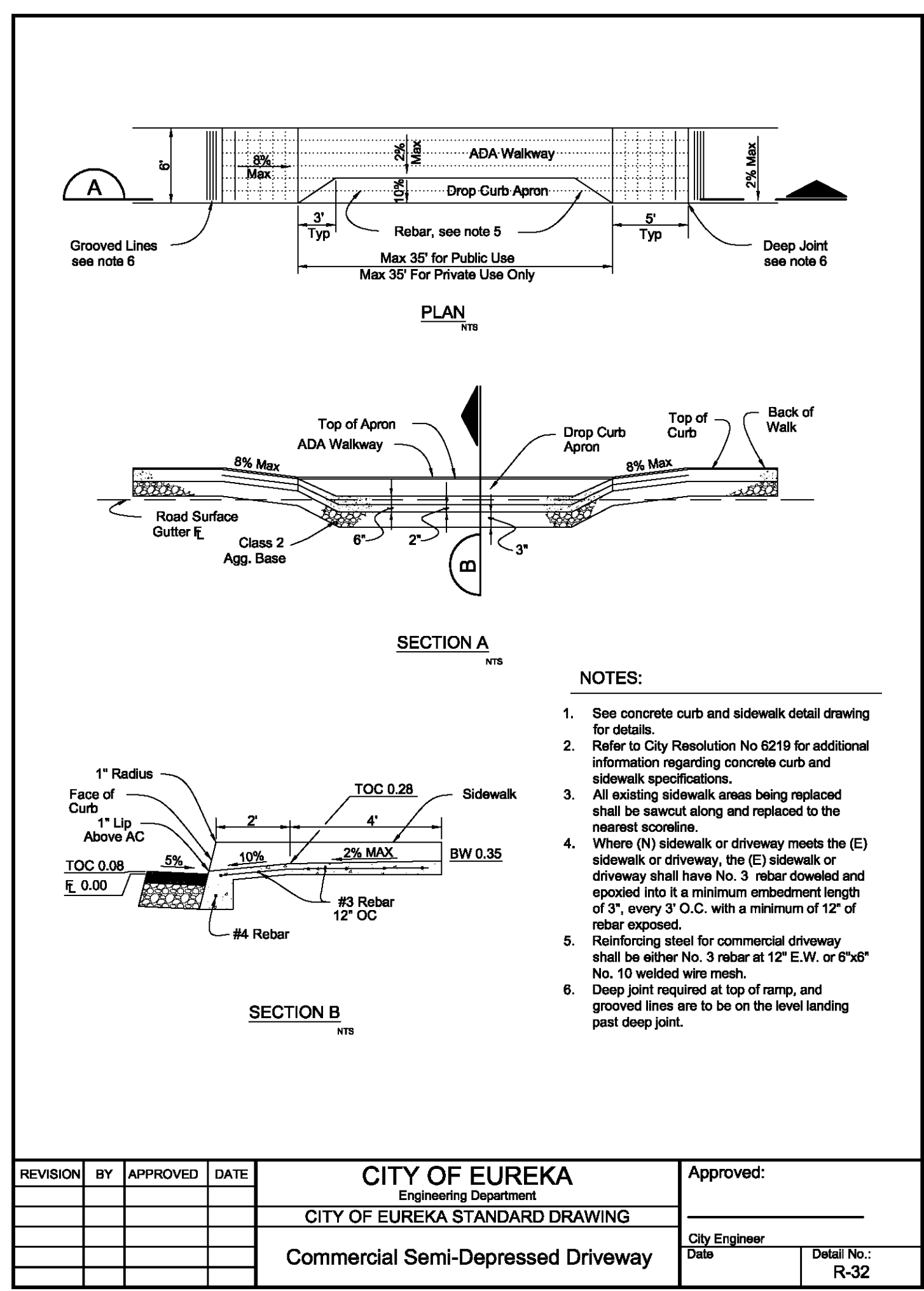
5 WALKWAY @ BLD'G 2  
A-2.1 1 1/2" = 1'-0"



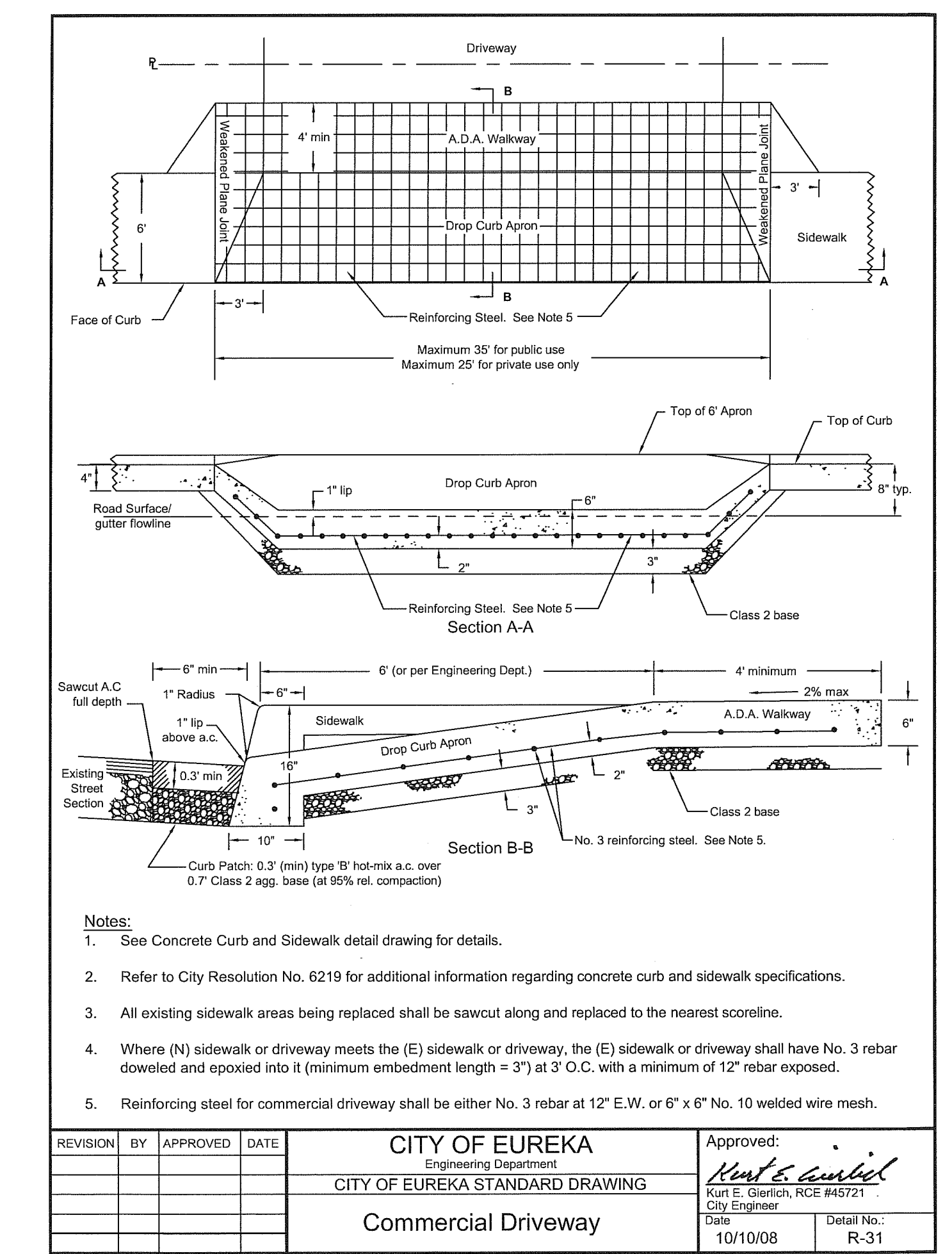
3 CURB CUT DETAIL  
A-2.1 1/4" = 1'-0"



1 SITE PLAN - WASHINGTON ST.  
ENTRY  
A-2.1 1" = 20'-0"



4 SEMI-DEPRESSED DRIVEWAY  
DETAIL  
A-2.1 N.T.S.



2 STANDARD DRIVEWAY DETAIL  
A-2.1 N.T.S.

REVISION	BY	APPROVED	DATE

**CITY OF EUREKA**  
Engineering Department  
CITY OF EUREKA STANDARD DRAWING  
Commercial Semi-Depressed Driveway

Approved:	
City Engineer	Date
Detail No.:	R-32

REVISION	BY	APPROVED	DATE

**CITY OF EUREKA**  
Engineering Department  
CITY OF EUREKA STANDARD DRAWING  
Commercial Driveway

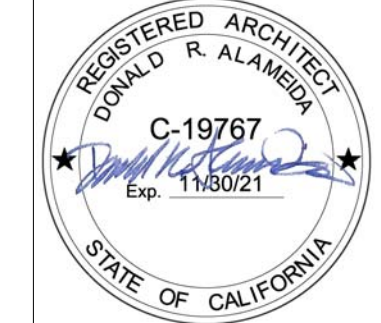
Approved:	
City Engineer	Date
Detail No.:	R-31



PROJECT

**SOCIAL SERVICES  
BUILDING ADA  
MODIFICATIONS  
PHASE II**

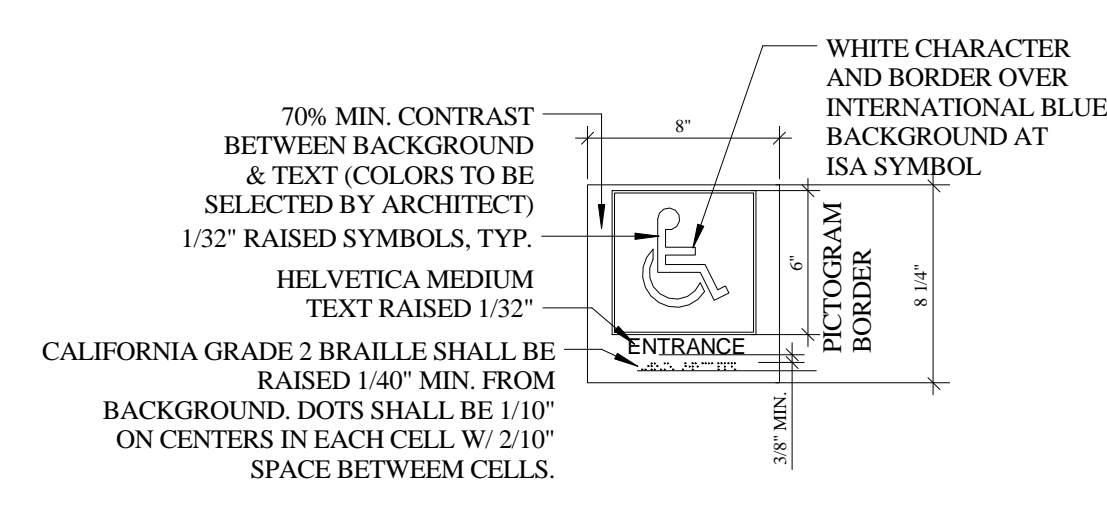
929 KOSTER STREET, EUREKA CA 95501



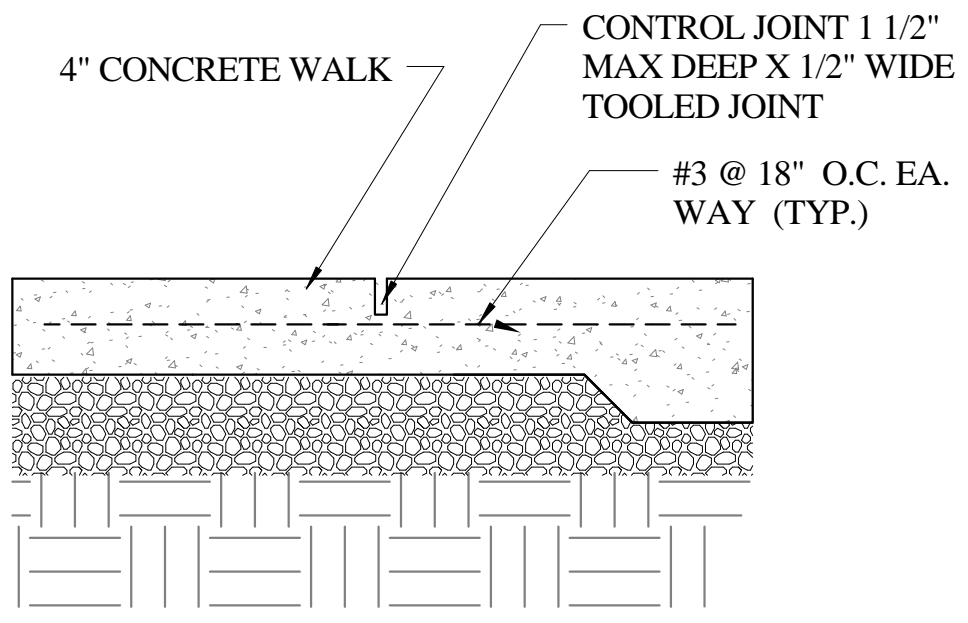
No.	Description	Date

**CONCRETE DETAILS**

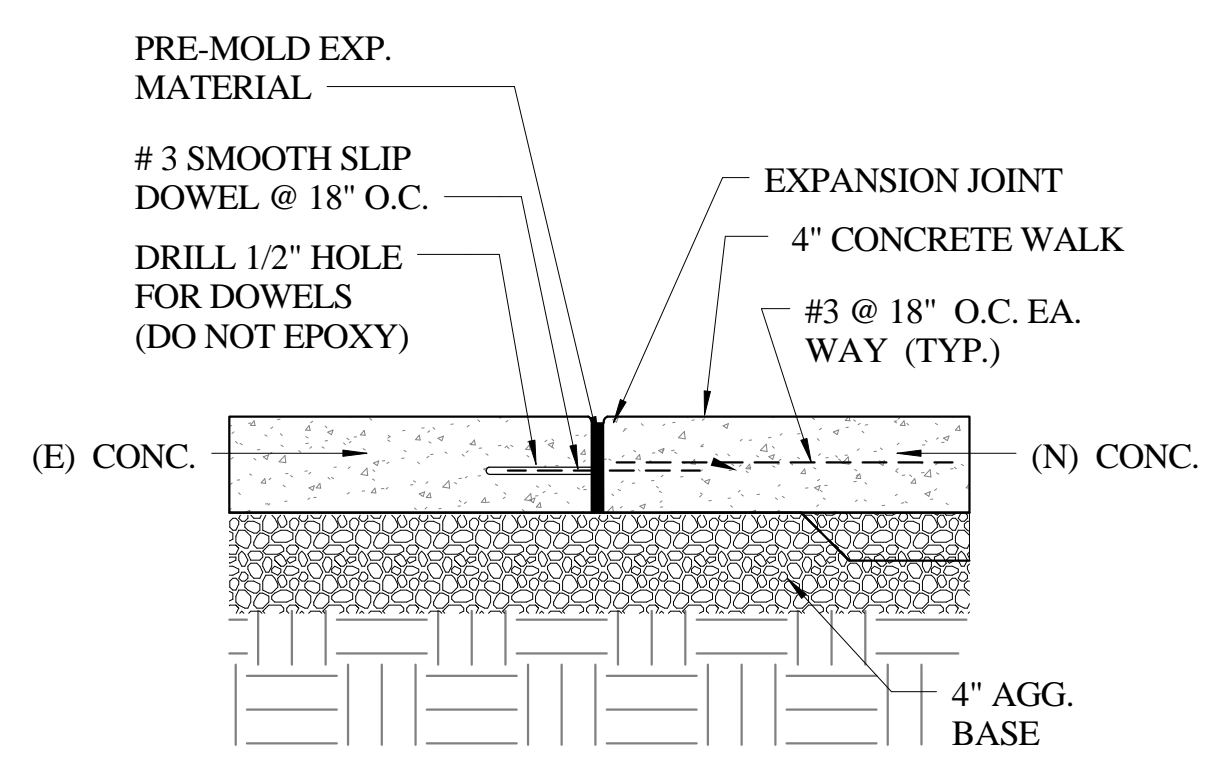
Project number	Project Number
Date	Issue Date
Drawn by	Author
Checked by	Checker
A-3	
Scale	As indicated



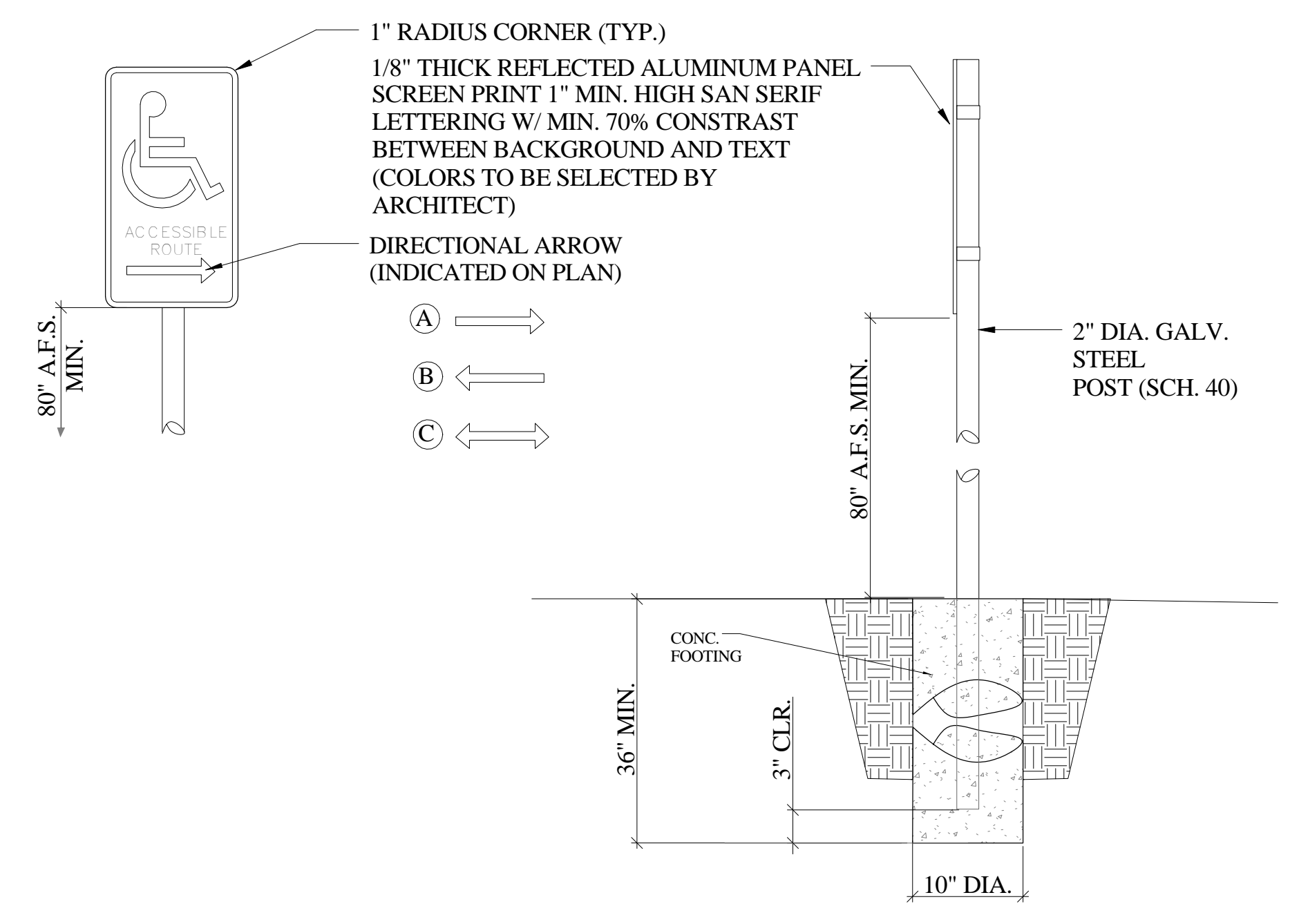
**6 ACC ENTRANCE SIGN**  
1 1/2" = 1'-0"



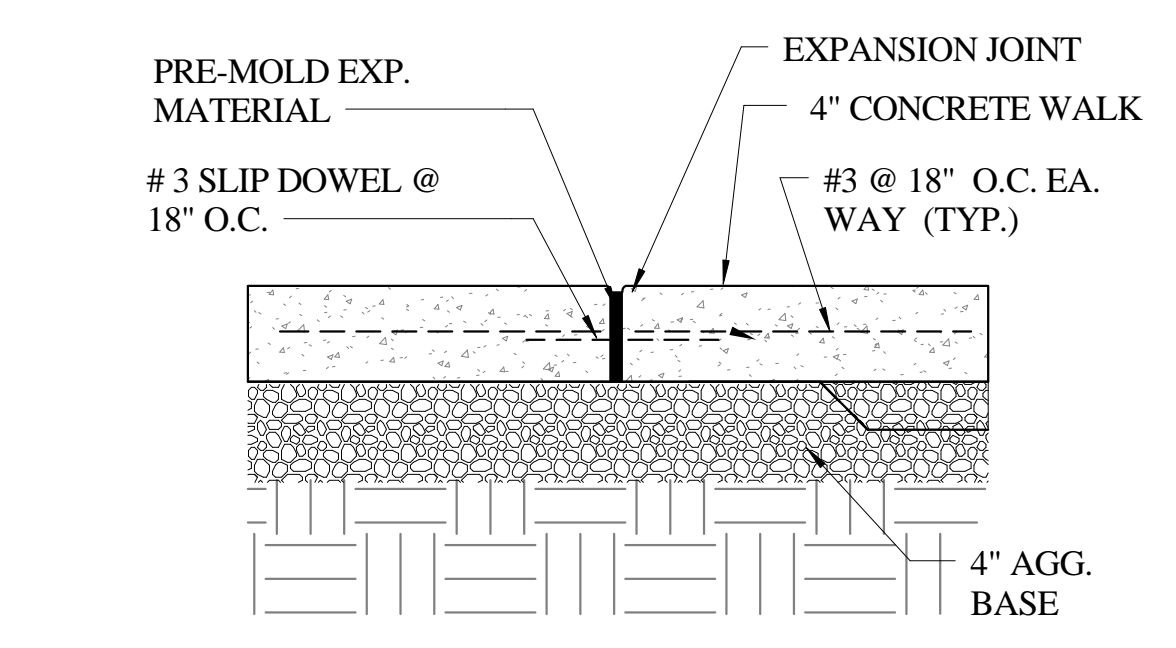
**5 CONC. CONTROL JOINTS**  
1 1/2" = 1'-0"



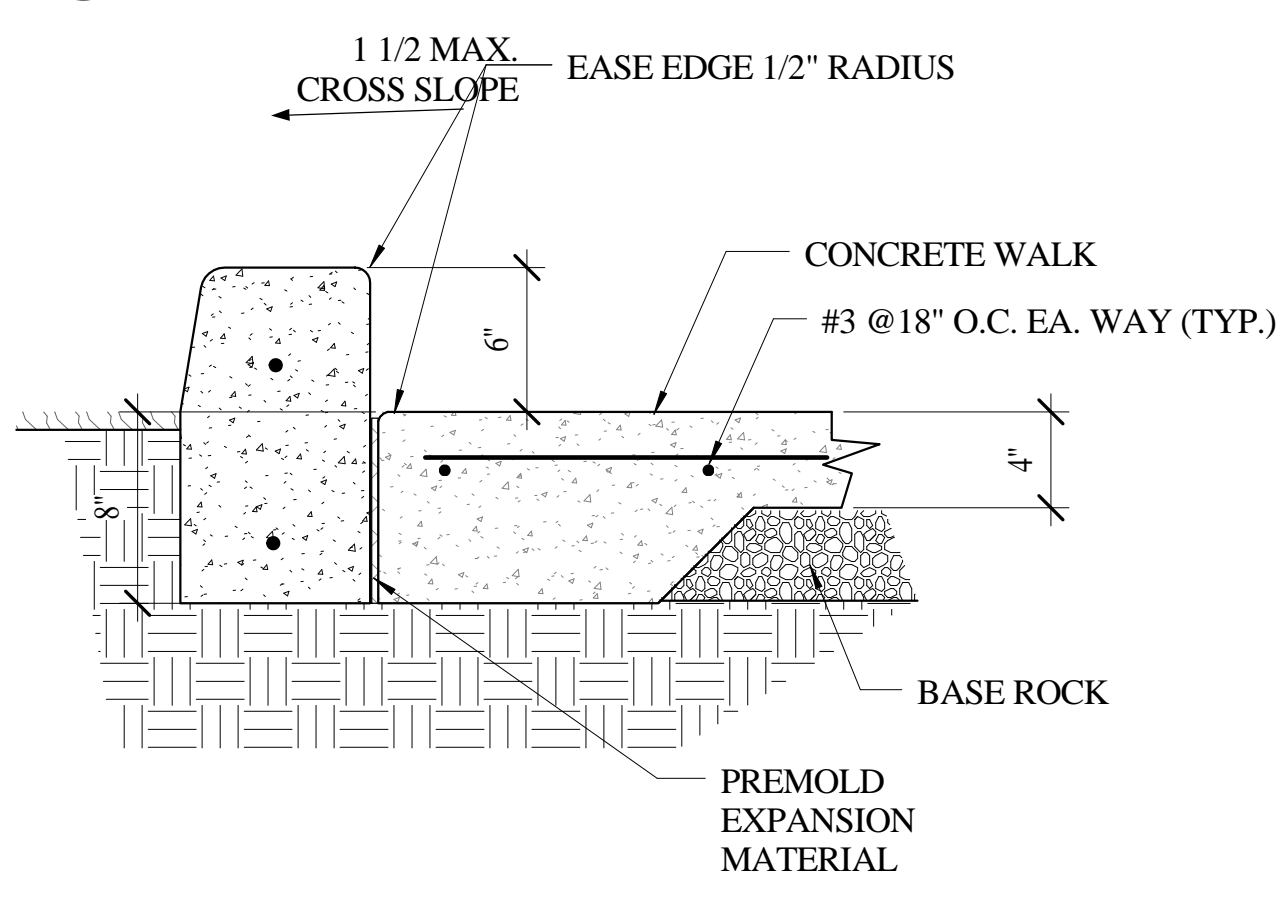
**1 CONC. SLAB - NEW TO EXISTING**  
1 1/2" = 1'-0"



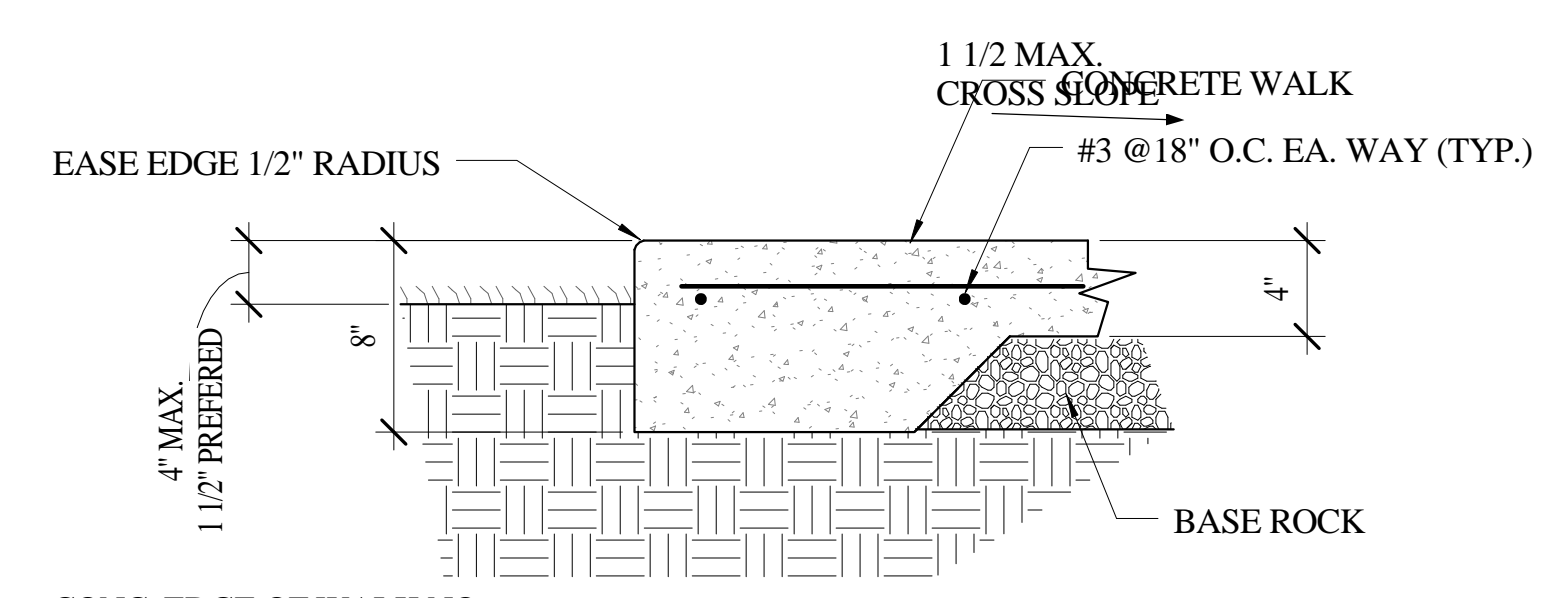
**7 ADA DIRECTIONAL SIGNS**  
1" = 1'-0"



**2 CONC. EXPANSION JOINTS**  
1 1/2" = 1'-0"



**3 EDGE OF WALK WITH CURB**  
1 1/2" = 1'-0"



**4 CONC. EDGE OF WALK NO CURB**  
1 1/2" = 1'-0"

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No.	Description	Date

EXISTING PARKING DETAILS

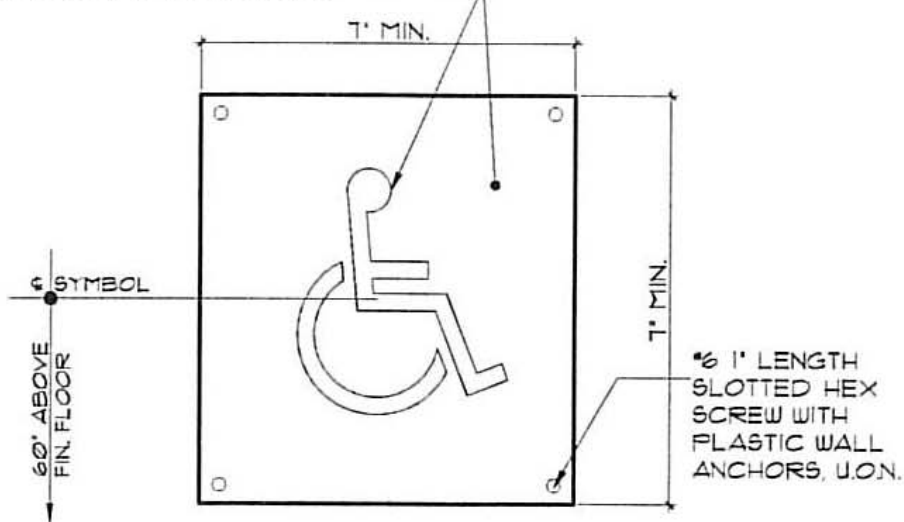
Project number	Project Number
Date	Issue Date
Drawn by	Author
Checked by	Checker

A-4

THIS PAGE FOR REFERENCE ONLY

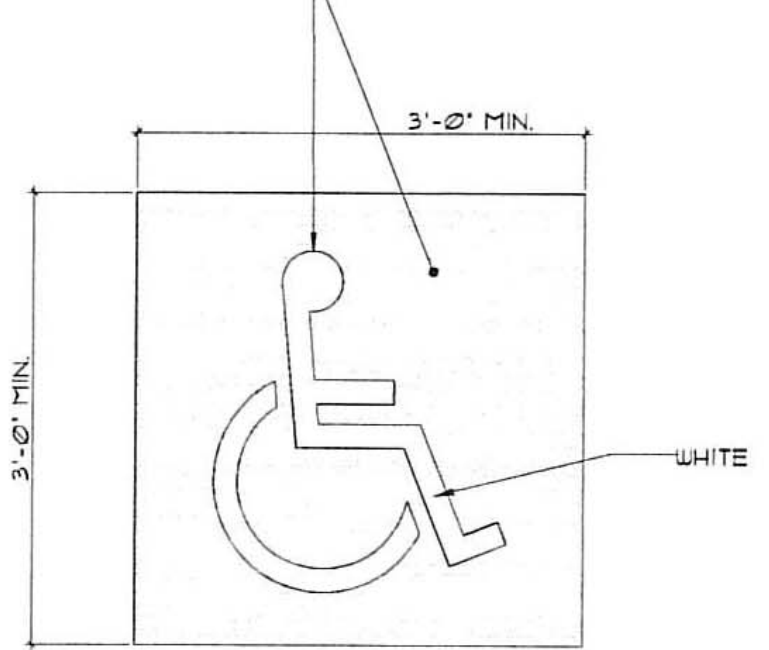
- 1 ALL SIGNAGE SHALL BE PROVIDED IN ACCORDANCE WITH SECTION 11B-216 AND SHALL COMPLY WITH SECTION 11B-103 PER CALIFORNIA BUILDING CODE (CBC) 2016 EDITION, CHAPTER 11B.
- 2 FOR ADDITIONAL INSTALLATION REQUIREMENTS IN THE PUBLIC RIGHT-OF-WAY, SEE CALIFORNIA MUTCD.
- 3 'NO PARKING' LETTERS TO FIT WITHIN AISLE OUTLINE.

11B-103.1.21 INTERNATIONAL SYMBOL OF ACCESSIBILITY. THE INTERNATIONAL SYMBOL OF ACCESSIBILITY SHALL COMPLY WITH FIGURE 11B-103.1.21. THE SYMBOL SHALL CONSIST OF A WHITE FIGURE ON A BLUE BACKGROUND. THE COLOR BLUE SHALL APPROXIMATE FS 15020 IN FEDERAL STANDARD 595C. A BORDER MAY BE PROVIDED INSIDE OR OUTSIDE OF THE MINIMUM REQUIRED INTERNATIONAL SYMBOL OF ACCESSIBILITY DIMENSION.



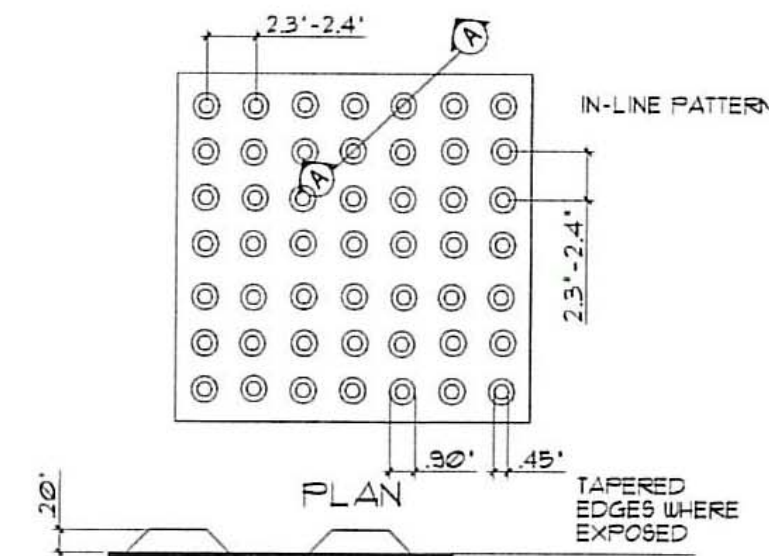
7 ISA SIGN SCALE: N.T.S.

11B-103.1.21 INTERNATIONAL SYMBOL OF ACCESSIBILITY. THE INTERNATIONAL SYMBOL OF ACCESSIBILITY SHALL COMPLY WITH FIGURE 11B-103.1.21. THE SYMBOL SHALL CONSIST OF A WHITE FIGURE ON A BLUE BACKGROUND. THE COLOR BLUE SHALL APPROXIMATE FS 15020 IN FEDERAL STANDARD 595C. A BORDER MAY BE PROVIDED INSIDE OR OUTSIDE OF THE MINIMUM REQUIRED INTERNATIONAL SYMBOL OF ACCESSIBILITY DIMENSION.

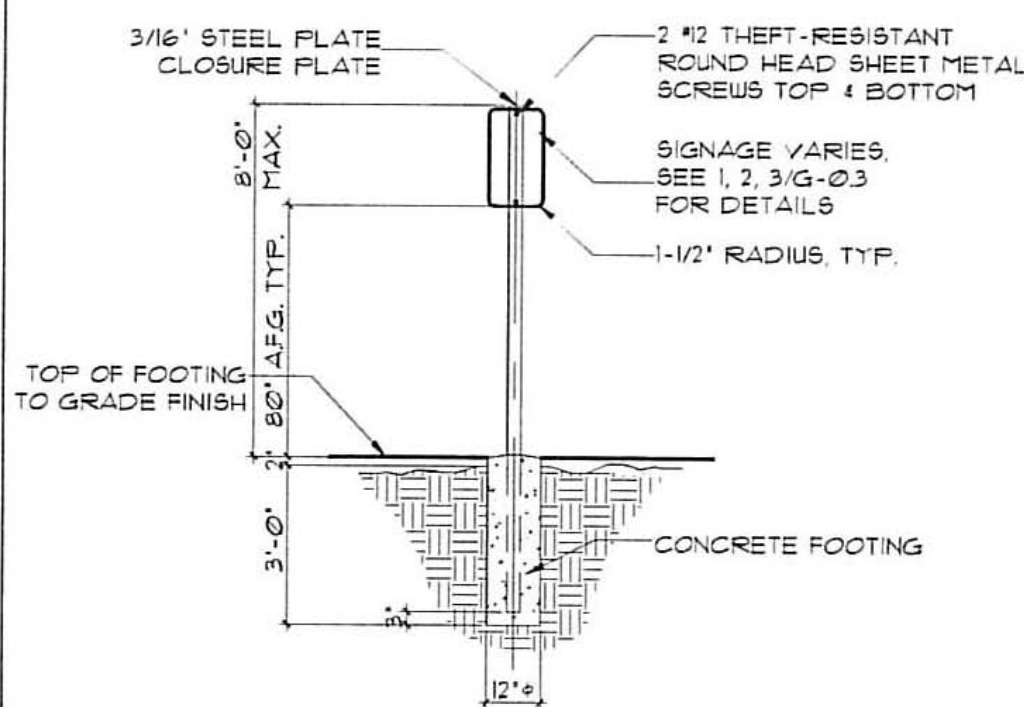


8 ACC. PARKING STALL PAVEMENT SYMBOL SCALE: 1/4"=1'-0"

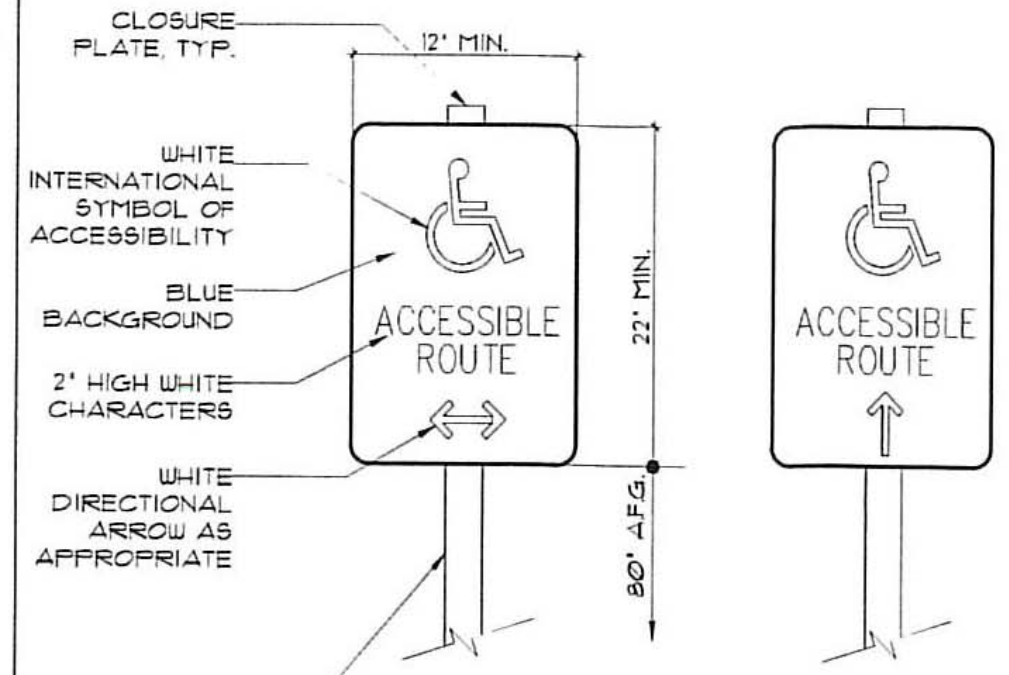
11B-109.1.1.2 DOME SPACING. TRUNCATED DOMES IN A DETECTABLE WARNING SURFACE SHALL HAVE A CENTER-TO-CENTER SPACING OF 2.3 INCHES (58 MM) MINIMUM AND 2.4 INCHES (61 MM) MAXIMUM, AND A BASE-TO-BASE SPACING OF 0.69 INCH (16.5 MM) MINIMUM, MEASURED BETWEEN THE MOST ADJACENT DOMES ON A SQUARE GRID.



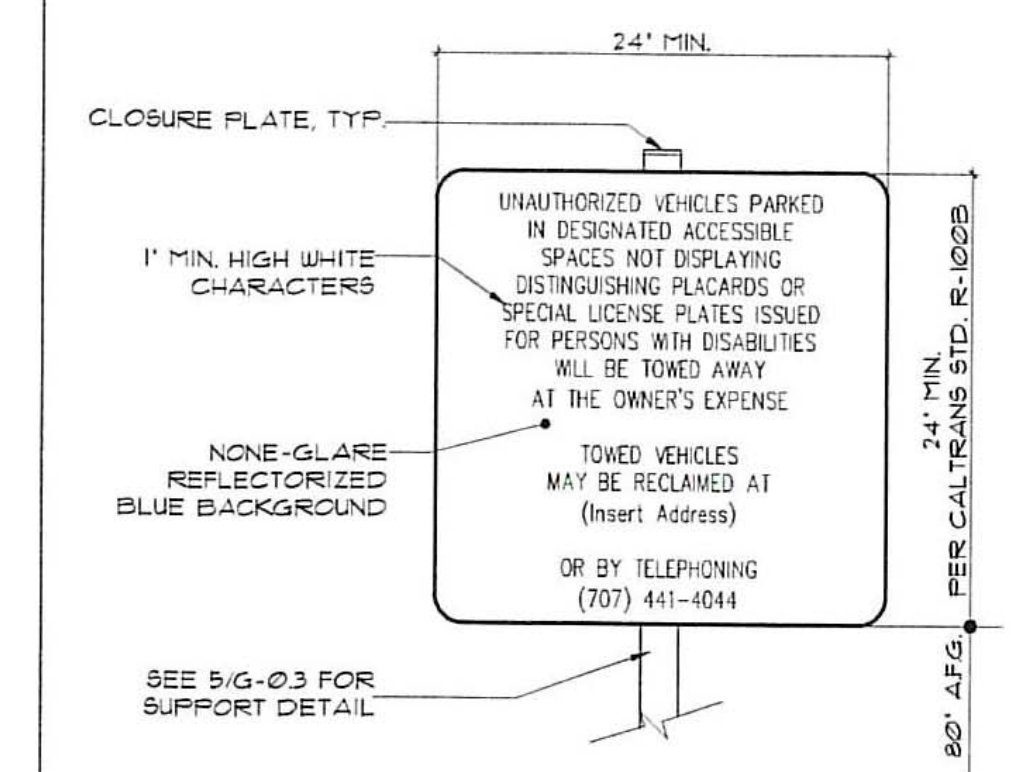
13 TEXTURED FLOORING SURFACE TRUNCATED DOMES SCALE: N.T.S.



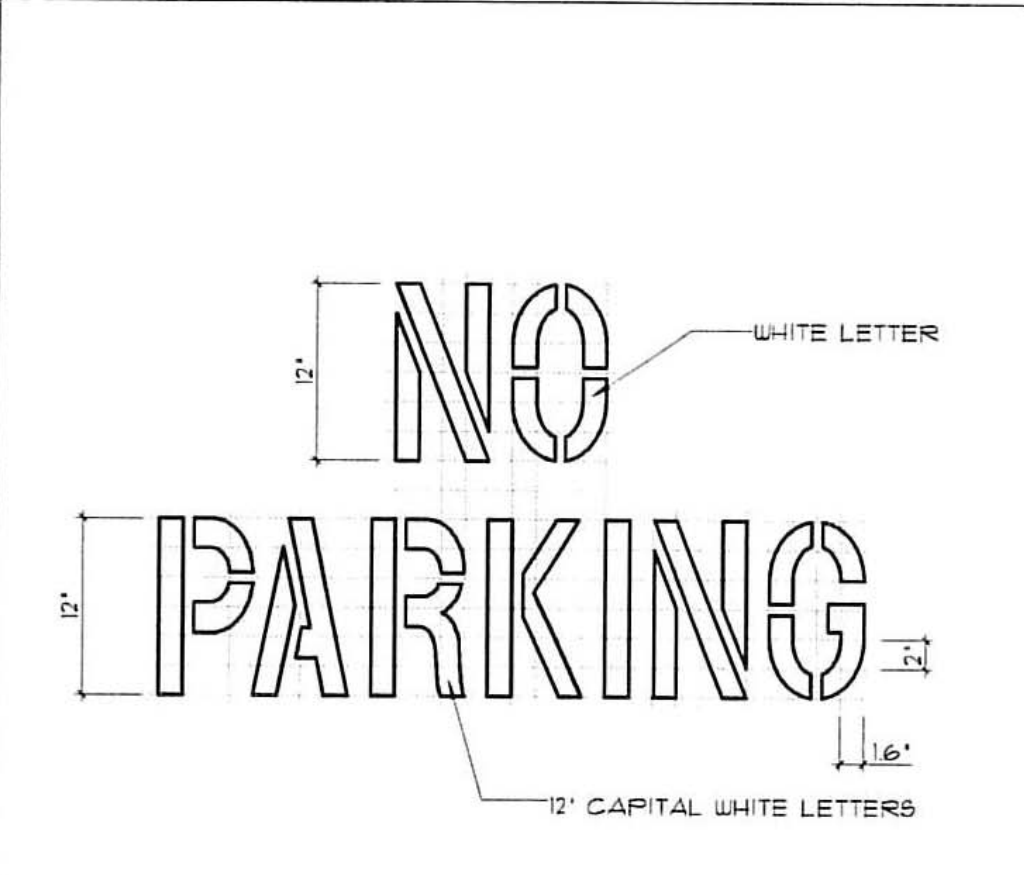
5 SITE SIGNAGE POST DETAIL SCALE: 1/4"=1'-0"



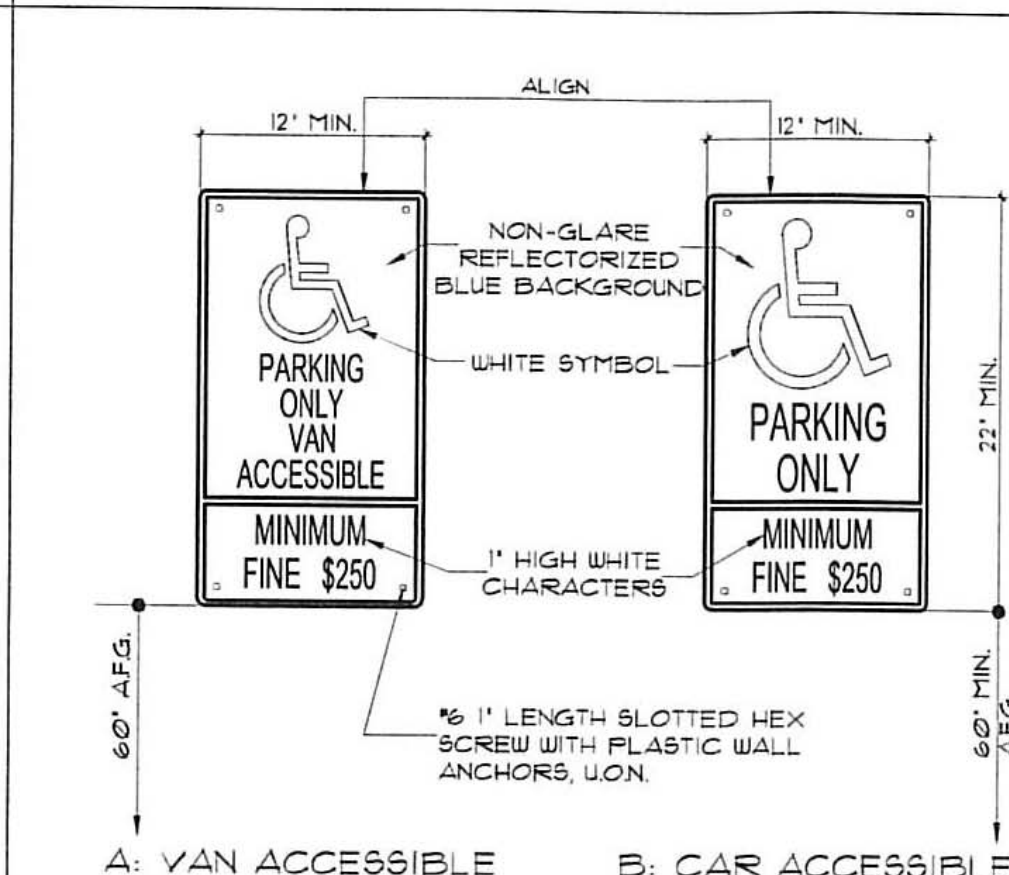
3 DIRECTIONAL SIGN SCALE: 1 1/2"=1'-0"



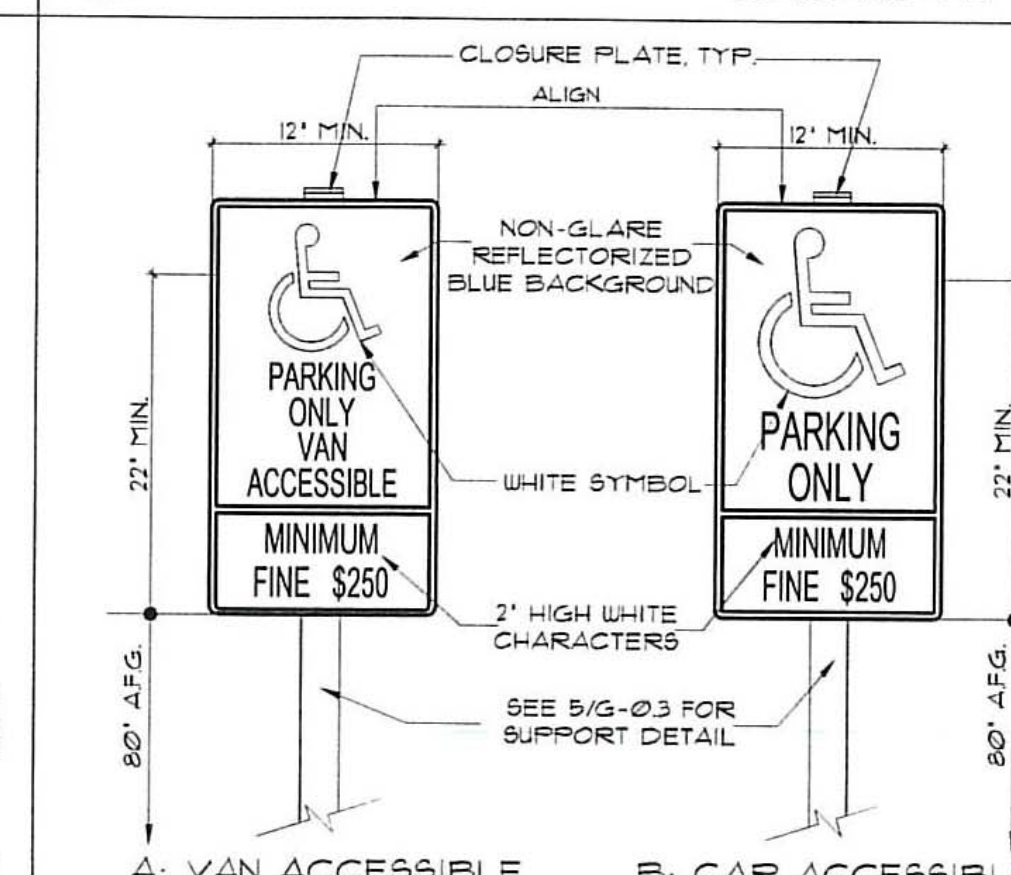
1 TOW-AWAY SIGNAGE SCALE: 1 1/2"=1'-0"



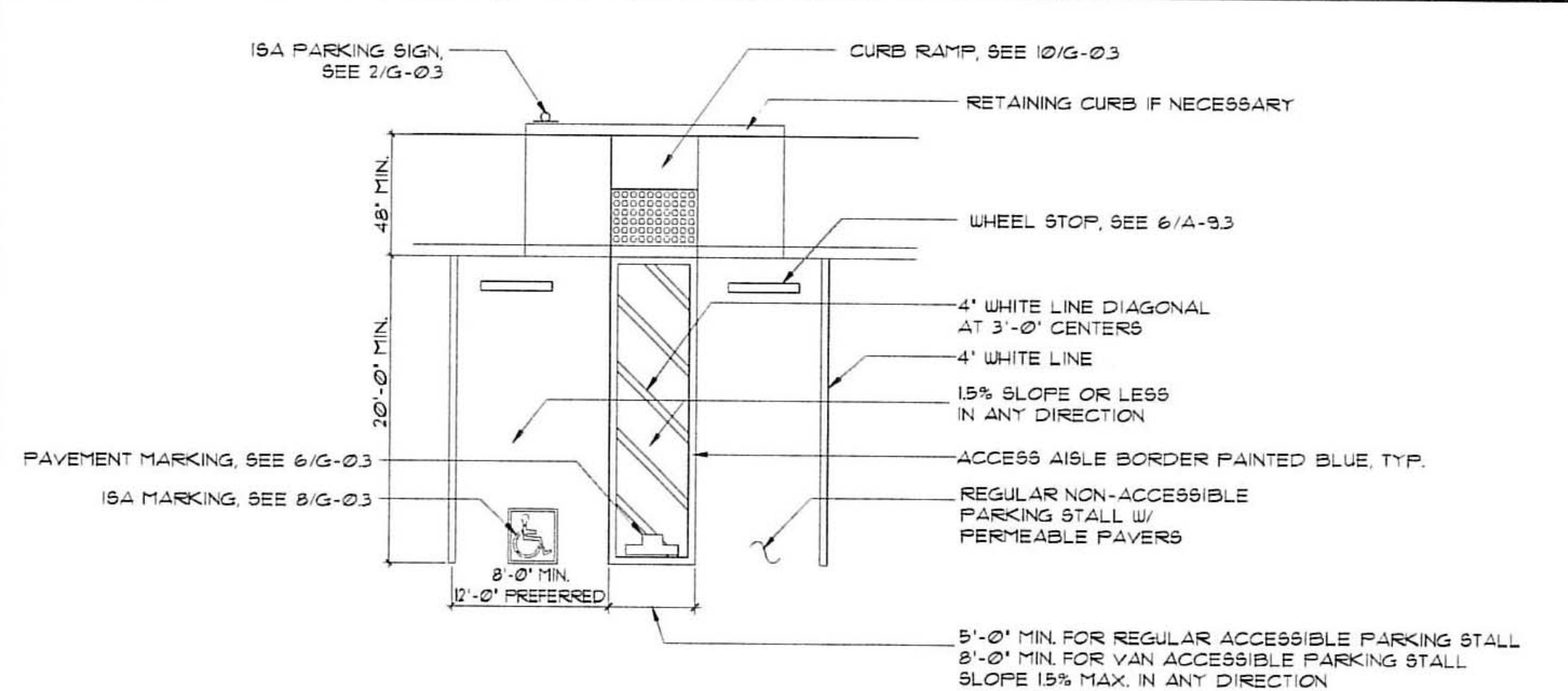
6 PAVEMENT MARKING DETAIL SCALE: N.T.S.



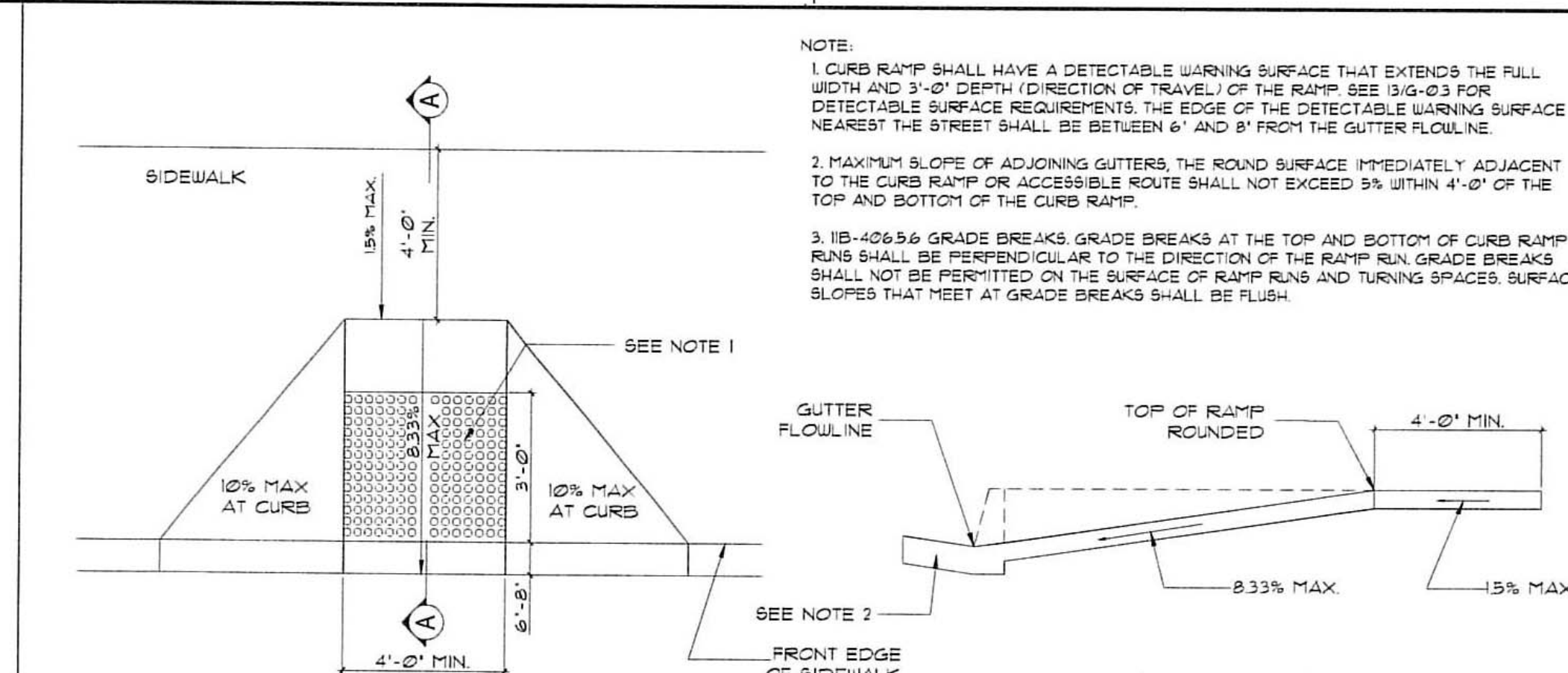
4 PARKING SIGNAGE ON WALL SCALE: 1 1/2"=1'-0"



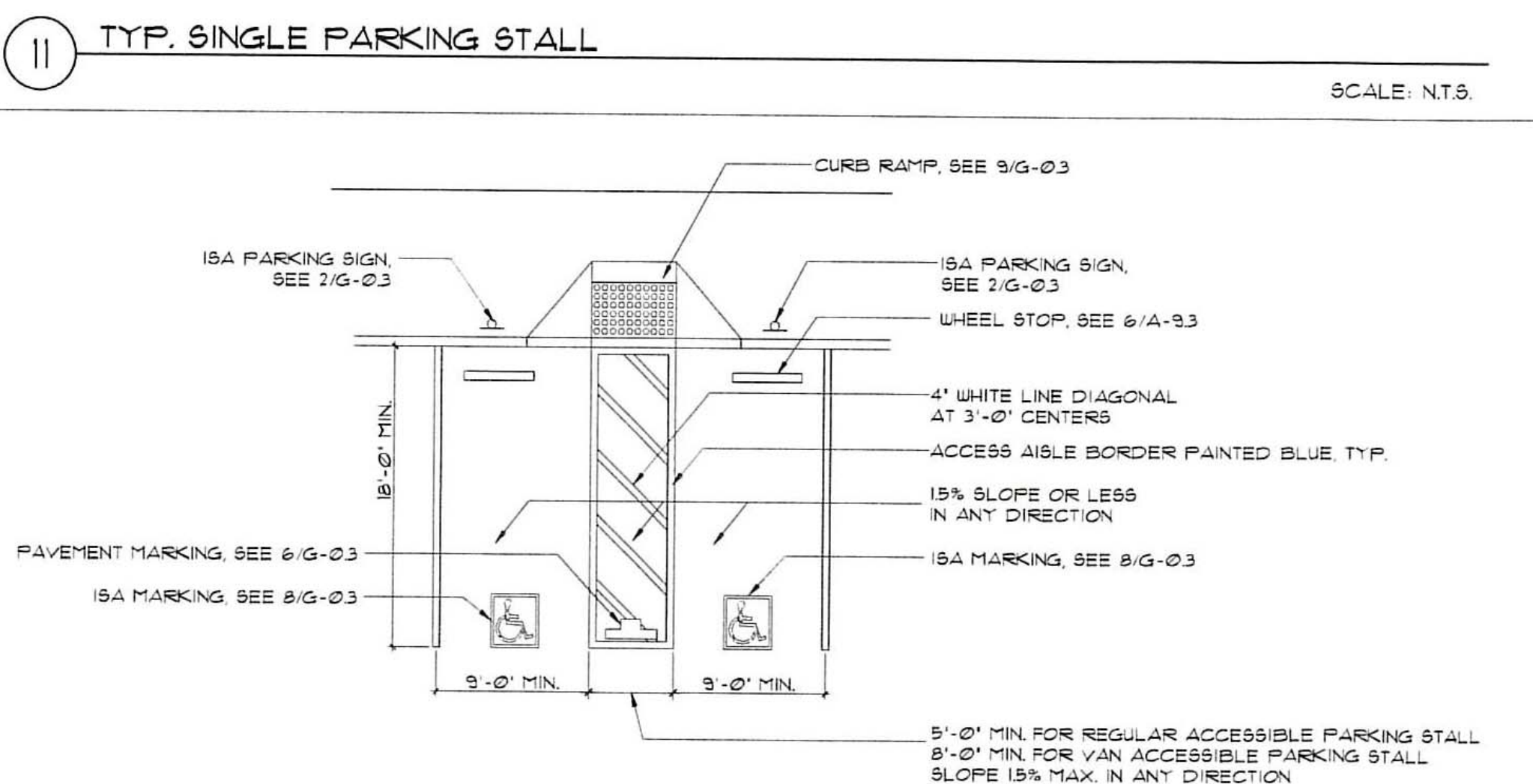
2 PARKING SIGNAGE ADJACENT TO PATH OF TRAVEL SCALE: 1 1/2"=1'-0"



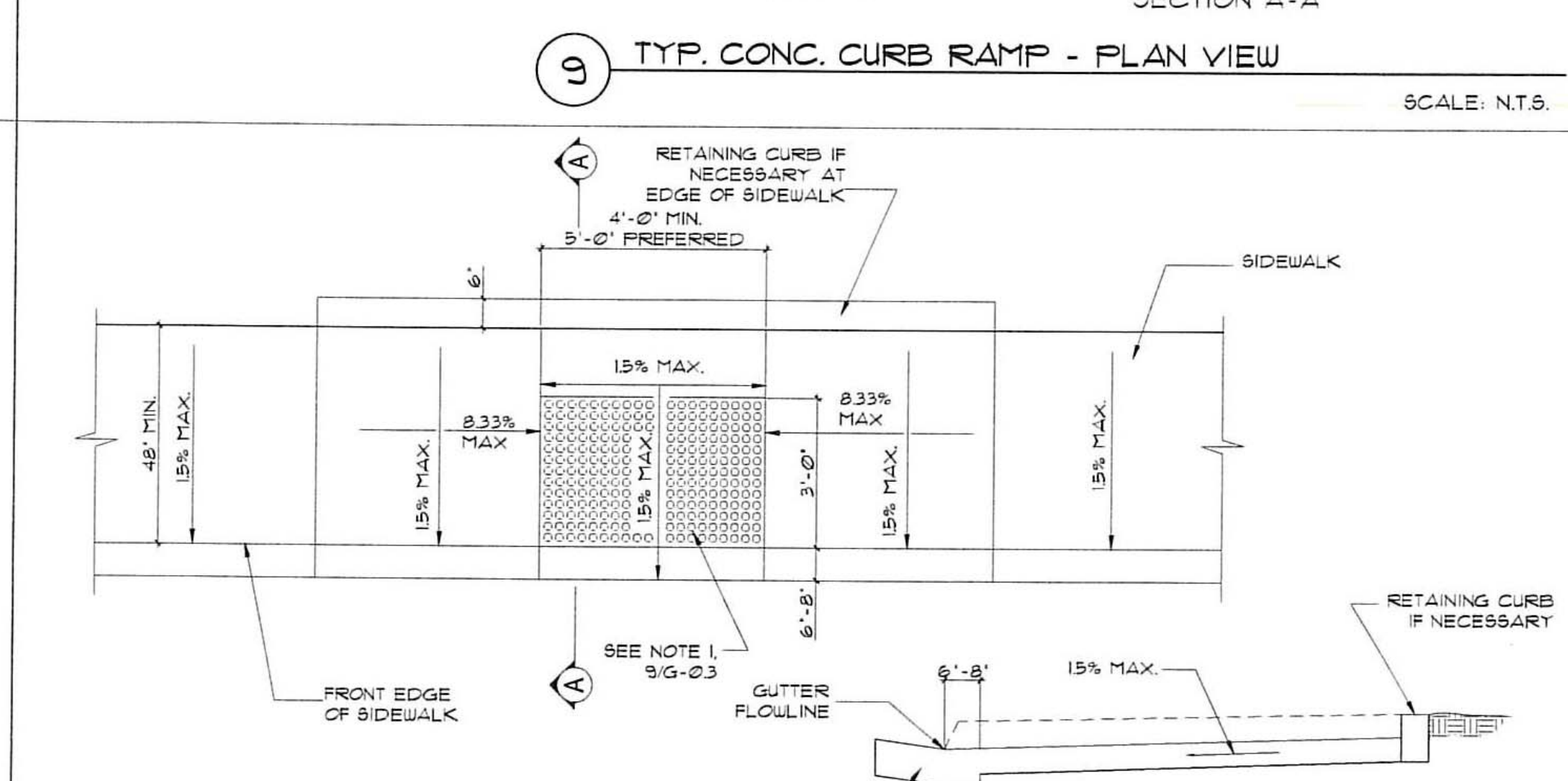
11 TYP. SINGLE PARKING STALL SCALE: N.T.S.



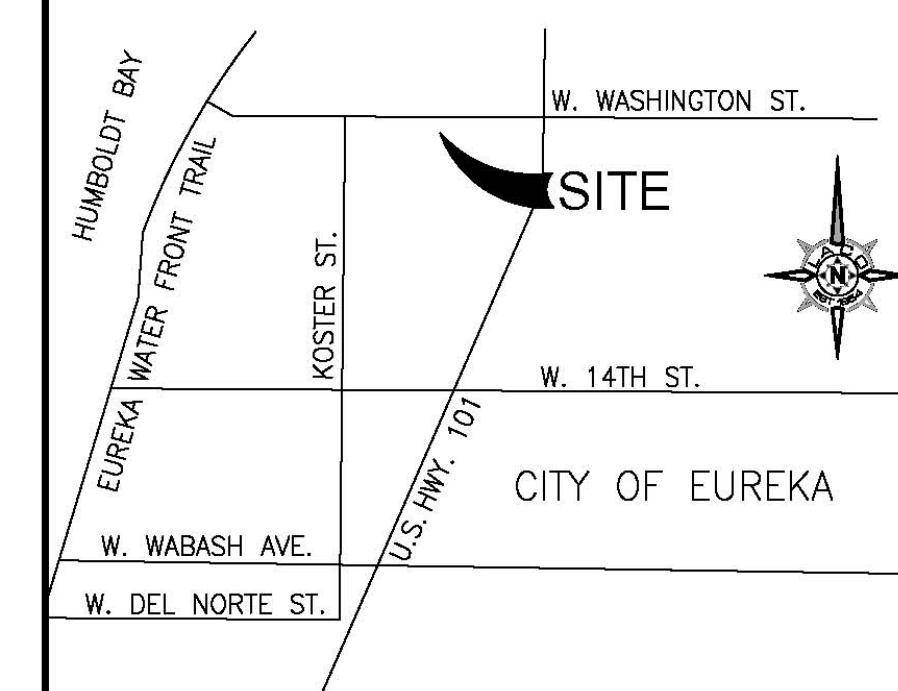
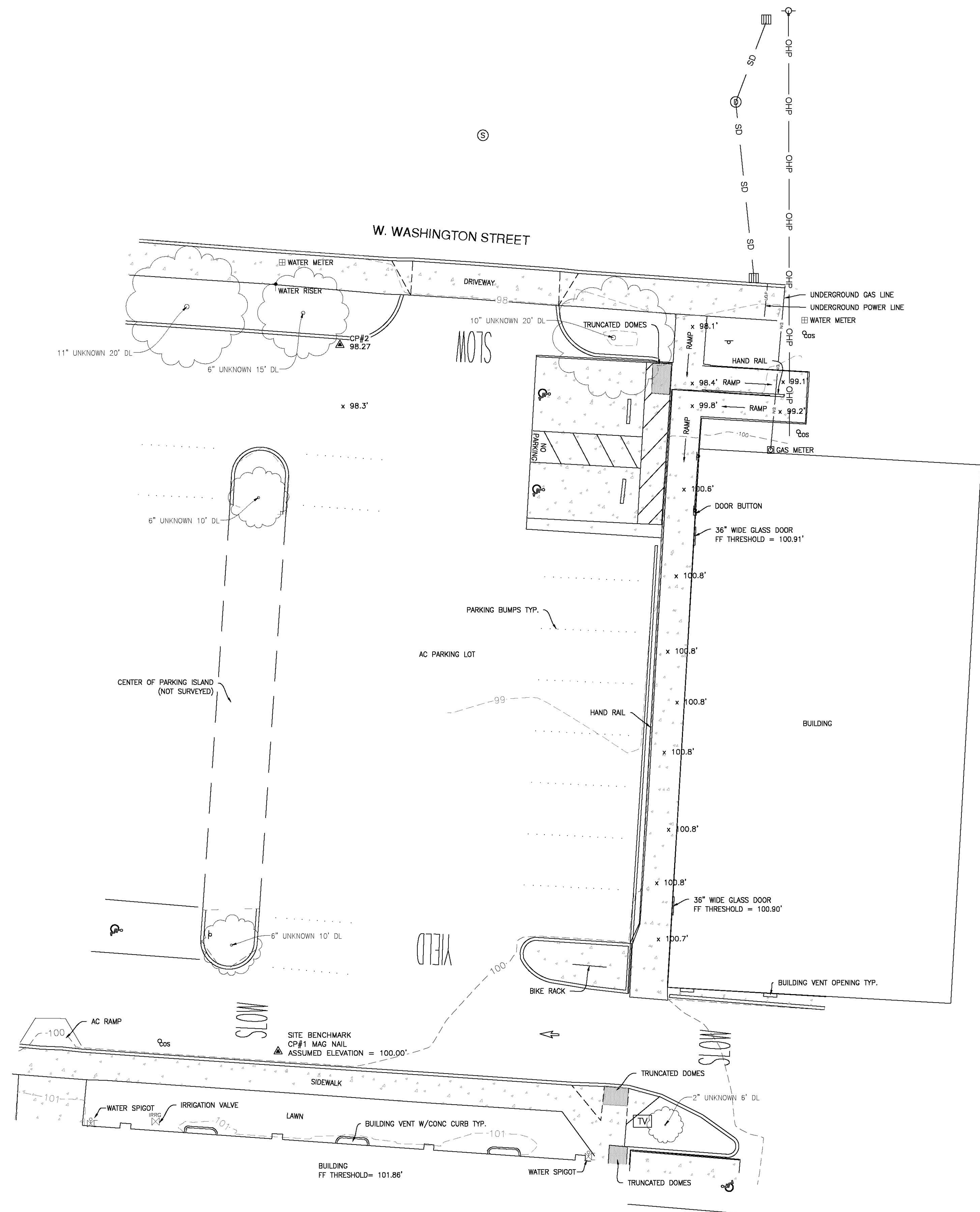
9 TYP. CONC. CURB RAMP - PLAN VIEW SCALE: N.T.S.



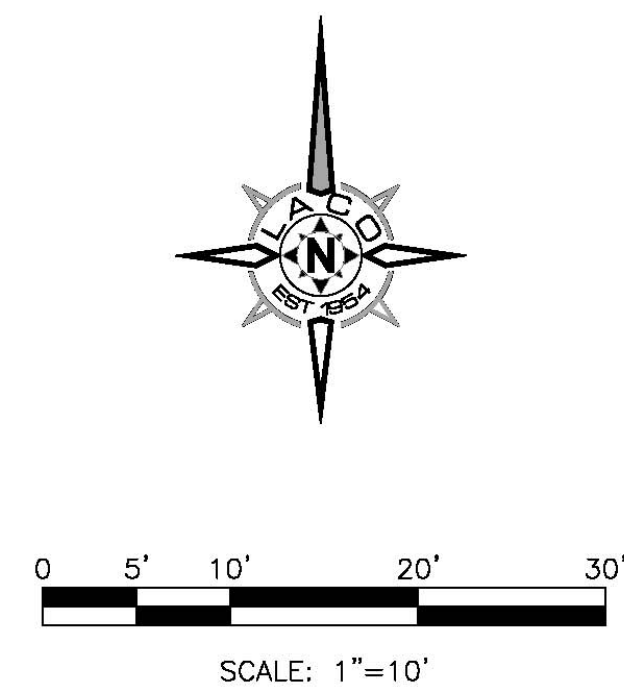
12 TYP. DOUBLE PARKING STALL SCALE: N.T.S.



10 TYP. DEPRESSED CONC. CURB RAMP - PLAN VIEW SCALE: N.T.S.



LOCATION MAP  
NOT-TO-SCALE



- LEGEND/ABBREVIATIONS:
- Curb
  - OHP — Overhead Power Line
  - SD — Storm Drain Pipe
  - 285 — Major Contour
  - 284 — Minor Contour
  - [ ] — Concrete Surface
  - [ ] — Tree Dripline/Edge of Vegetated Area
  - 15" Oak 30' DL — Tree W/Size & Type
  - — Power Pole W/Drop
  - ↑ — Sign
  - ⊕ — Storm Drain Manhole
  - ⊞ — Storm Drain Inlet
  - ⊙ — Sanitary Sewer Manhole
  - ⊘ — Sanitary Sewer Cleanout
  - ⊞ — Gas Box/Meter
  - ⊞ — Water Meter
  - ⊞ — Water Spigot
  - ↑ — Water Riser
  - TV — Cable TV Vault
  - ▲ — Survey Control Point
  - Ⓜ — ADA Parking
  - Ⓜ — Pavement Marking
  - x 99.8' — Spot Elevation
  - ADA — Americans with Disabilities Act
  - AC — Asphalt Concrete
  - P.L.S. — Professional Land Surveyor
  - CP#1 — Survey Control Point

NOTES:

BOUNDARY LINES NOT SHOWN ON THIS MAP.

ELEVATION IS ASSUMED SITE BENCHMARK CP#1, A SET MAG NAIL WITH ASSUMED ELEVATION = 100.00'

BASIS OF BEARINGS  
A MAGNETIC BEARING OF N5°0'0"E 116.59' BETWEEN PROJECT POINTS #1 AND #2 SHOWN HEREON.

CONTOUR INTERVAL IS ONE FOOT

UNDERGROUND UTILITIES SHOWN HEREON BASED ON SURVEYED LOCATIONS OF PAINT MARKINGS BY UNDERGROUND SERVICE ALERT AND REQUIRE FIELD VERIFICATION.

FIELD SURVEY BY LACO ASSOCIATES ON MARCH 31, 2023.  
ONLY CONDITIONS EXISTING AT THAT TIME ARE REFLECTED ON THIS MAP.

THE CONTENT OF THIS MAP WAS DEFINED BY CONTRACT AT THE REQUEST OF DONALD ALAMEIDA. LACO ASSOCIATES ACCEPTS NO LIABILITY FOR USE OF THIS MAP BY ANYONE OTHER THAN THE AUTHORIZED REPRESENTATIVE THEREOF.

PREPARED FOR:  
DONALD ALAMEIDA  
ALAMEIDA ARCHITECTURE  
555 SOUTH MAIN STREET, SUITE 2  
SEBASTOPOL, CA 95472  
(707)824-1219

SURVEYOR'S STATEMENT:  
THIS SURVEY REPRESENTS A SURVEY MADE BY ME OR UNDER MY DIRECTION IN CONFORMANCE WITH THE REQUIREMENTS OF THE PROFESSIONAL LAND SURVEYORS' ACT AT THE REQUEST OF DONALD ALAMEIDA, 3/21/2023.

*Bradley A. Thomas*  
BRADLEY A. THOMAS, DATE: 4/11/2023  
P.L.S.: 5520

PROJECT MANAGEMENT

**ALAMEIDA ARCHITECTURE**

CONSTRUCTION MANAGEMENT

555 S. MAIN STREET, SUITE 2  
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929 KOSTER STREET, EUREKA CA 95501



No.	Description	Date

**SURVEY @ WASHINGTON ST.**

Project number	Project Number
Date	Issue Date
Drawn by	Author
Checked by	Checker
<b>C-1</b>	
Scale	